



Advanced Design Group

Professional Engineering & Land Surveying, PC

761 Cayuga Street
Lewiston, NY 14092

Phone (716)754-2256

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April 11th, 2023

Town of Ulysses
c/o Planning Department
10 Elm Street
Trumansburg, New York 14886

Subject: Letter of Intent

Ithaca Alpha House Center – New 25-Bed Residential Treatment Facility

6621 Route 227, Trumansburg, NY 14886

ADG Project No. 17-4797

To whom it may concern:

Advanced Design Group (ADG) has been retained by the property owner, Cayuga Addition Recovery Services (Applicant), to represent their site plan application for the construction of a new 25-Bed Residential Treatment Facility on their 34.4+/- ac Facility at 6621 Route 227. Please accept this Letter of Intent and attached documentation as application to continue the approval process.

The Applicant proposes the following:

- Construct a new 13,385+/- sq. ft. wood framed two-story 25-Bed Facility
- New access driveway, parking areas, drainage, and infrastructure
- New sidewalks
- Project will be NYSDEC SPDES compliant

Enclosed you will find the following project documents to support the Applicant's request:

- Site Plan Application
- Site Plan Set (24"x36")
- Proposed Elevation Renderings (24"x36")
- Stormwater Pollution Prevention Plan Report

Project Contacts:

Applicant: Cayuga Addiction Recovery Services
Jessica Janssen - CEO
jjanssen@carsny.org
(907) 391 1020


Project Civil Engineer: Advanced Design Group Professional Engineering & Land Surveying (ADG)
Kristin L. Savard, PE – President/Owner ADG
kristin.savard@adgeniengineers.com
(716) 754-2256

Please contact one of the Project Contacts provided above with any comments and/or questions regarding this request or if you need any additional copies of the enclosed.

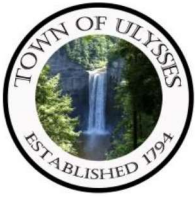
We are available as necessary to meet with staff and Town boards as necessary.

Thank you and as always, we are looking forward to working with the Town on this request.

Sincerely,



Kristin L. Savard, P.E.
Advanced Design Group Professional Engineering & Land Survey, P.C.



**Town of Ulysses
Planning Department
10 Elm Street
Trumansburg, NY 14886
(607) 387-9778 ext. 222**

Site Plan

New Site Plan
Site Plan Amendment

Project #: _____

Business/Project Name: Ithaca Alpha House Center, Inc. DBA Cayuga Addiction Recovery Services

Address/Location: 38 East Main Street, P.O Box 724, Trumansburg, NY 14886

Applicant: Ithaca Alpha House Center, Inc.
Name: DBA Cayuga Addiction Recovery Services Address: 38 East Main Street, P.O Box 724, Trumansburg, NY 14886

Telephone #: 607-391-1020 Fax #: _____ Email: jjanssen@carsny.org

**** Owner Authorization must be provided if you do not own the property.**

Property Owner (if different):

Name: _____ Address: _____

Telephone #: _____ Fax #: _____ Email: _____

Business Representative: _____ Address: _____

Telephone #: _____ Fax #: _____ Email: _____

Site: Town of Ulysses: 22-2-4
Parcel identification # (SBL#) of lots included: Town of Hector: 10.00-1-25.2

Zone: Town of Ulysses - R1 - Rural Residence District

Size of existing lot(s): 34.41 acres

Existing Frontage 534.34' feet

Number of buildings proposed: One (1) Area of proposed disturbance 3.23 Acres

Size of proposed buildings: (1) Building: Two-Story, Wood Framed, 13,385 (+/-) Gross Area (s.f.)

Proposed Use: Residential Multi-Family Commercial Retail Other _____

Area of State Wetlands 0.0 acres Area of Federal Wetlands 0.4+/- acres *Area approximated from NYSDEC*

Area of Flood Plain 0.00 acres *Environmental Resource Mapper.*

Soil Classification _____ Area of Critical Slopes (> 15%) 10.323 acres *No formal delineation.*

Gravelly Silt Loam = 39%
Silt Loam = 39%
Pits. Gravel / Gravelly Loam = 12/10%

Stream Name Bolter Creek/898-372 Stream Classification C Stream Length 865'+/- feet

Date property was acquired by the applicant: Property Purchase 01: November 13, 1998 / Property Purchase 02: December 7, 2004

Name(s) of Previous Owner(s): Property Purchase 01: New York Alpha Foundation / Property Purchase 02: Hoffarcor, Inc.

Has applicant subdivided any portion of the above-described property prior to the date of this application? Yes No

If yes, indicate number of parcels n/a Conveyed to: n/a Date: n/a

Describe any easements or other restrictions on this property: None

Applicant/Business Representative Signature: _____ **Date:** 02/02/2023

Office use only

Fee \$ _____ Paid: Yes No Escrow Amount \$ _____

Application Status: Complete Incomplete Reason: _____ Reviewer's initials _____

Town of Ulysses, NY
Site Plan Review Checklist

Project Name _____ Location _____
X = Item Submitted; N/A = Not Applicable; W = Waive; COND = Condition of Approval

Sketch Plan List

X	Digital and nine (9) paper copies of the following materials:
X	Completed and signed application form, including a narrative description of proposed project.
X	Completed and signed Part 1 of the Environmental Assessment Form. (<i>The NY DEC has an online application that greatly facilitates this process: http://www.dec.ny.gov/eafmapper/</i>)
X	Completed and signed Agricultural Data Statement (for properties containing or within 500 feet of a farm operation located in a County-designated Agricultural District).
N/A	If applicant is not the owner of the land under consideration, written approval from the owner to submit the sketch plan
X	Brief narrative and preliminary concept showing the locations and dimensions of structures, parking areas, and other features and any anticipated changes in the existing topography and natural features,
X	Sketch or map of the area which clearly shows the location of the site with respect to nearby streets, rights-of-way, properties, easements and other pertinent features within 300 feet,
X	Topographic or contour map to adequate scale and detail to show site topography and natural features such as Unique Natural Areas, Critical Environmental Areas, and all streams and wetlands or evidence of these such as hydric soils or vegetation indicative of wetlands,
X	Conceptual stormwater management plan consistent with local law that outlines the approach to manage runoff and its post construction treatment on the site. A Stormwater Pollution Prevention Plan does not have to be submitted for Sketch Plan Conference.
X	Payment of all application fees.

Site Plan Checklist

X	Names and addresses of all owners of record.
X	A detailed site plan, at a suggested scale of not smaller than 50 feet to the inch , showing all integral elements within 300 feet of the proposed project site, including but not limited to:
X	Property lines for the site, including metes and bounds,
X	Locations of adjacent public and private streets and highways,
X	Approximate size and locations of all existing and proposed buildings and structures, including locations of access drives, parking and pedestrian facilities, and off-street loading facilities,
X	Existing vegetation and proposed landscaping,
X	Existing and proposed overhead and underground utilities,
X	Location and design of all water and sewerage facilities,
X	Location of all existing streams or drainage ways, water bodies, wetlands, and drain tile (if available),
X	Elevation plans at an appropriate scale for all exterior facades of the proposed structure(s) and/or existing facades, plus addition(s) showing design features.
X	Proposed exterior lighting,
X	Number of parking spaces existing and required for all intended uses,
X	Stormwater Pollution Prevention Plan, as required by local law. {If disturbance less than 1 acre, no SWPPP required.}
X	Site topography showing contours at an interval appropriate for the site, two (2) foot interval is recommended.

The Planning Board may request additional items as may be required to complete its review ,including but not limited to:

	A detailed traffic study for large developments or developments in heavy traffic areas, to include:
	The number of motor vehicle trips projected to enter or leave the site, estimated daily and peak-hour traffic levels,
	The projected traffic flow pattern, including vehicular movements at all major intersections likely to be affected by the proposed use of the site,
	The impact of this traffic upon existing abutting public and private ways in relation to existing road capacities (existing and proposed daily and peak-hour traffic levels as well as road capacity levels shall also be given).
	Historical and cultural resources study completed to standards set forth by the State Historic Preservation Office.

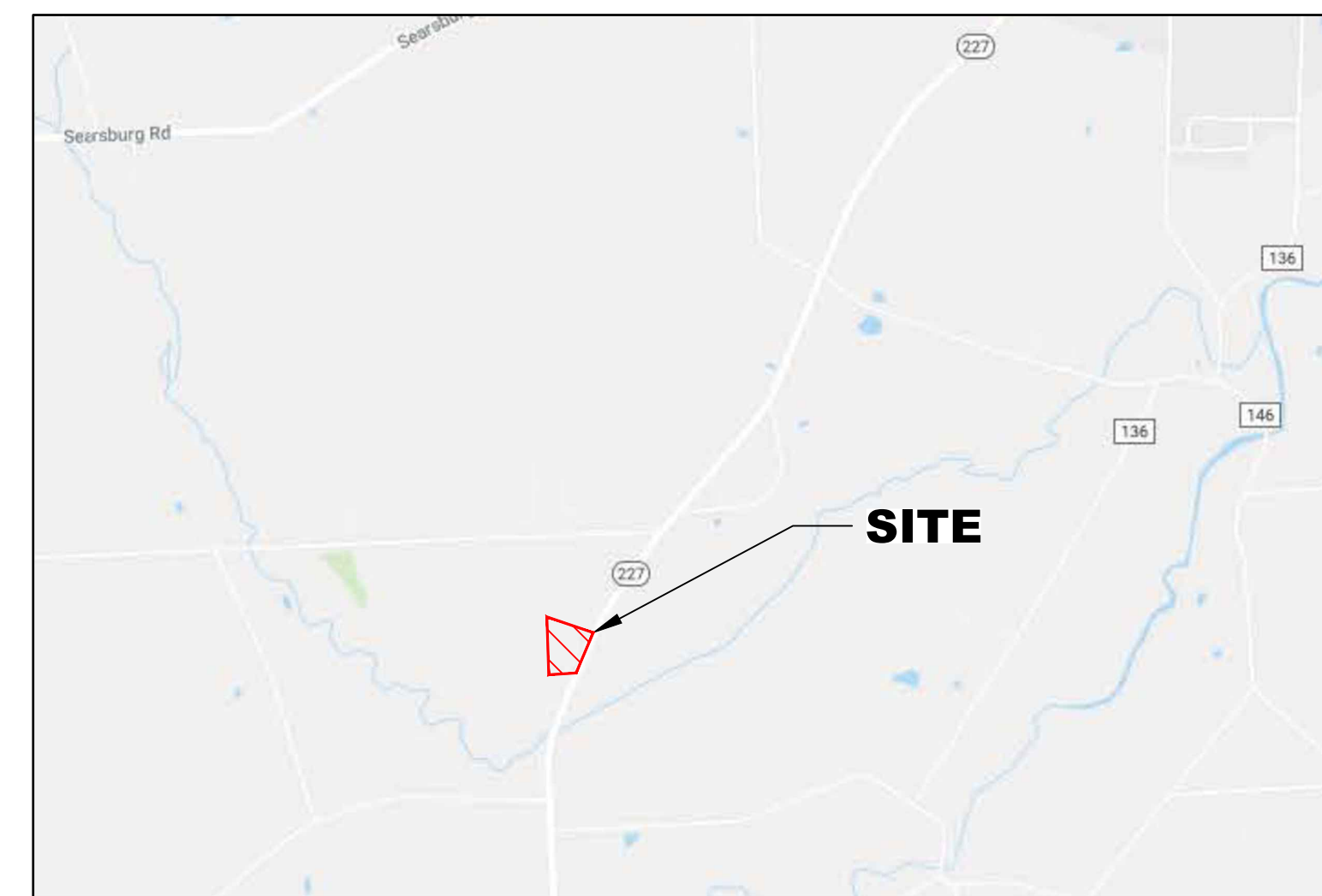
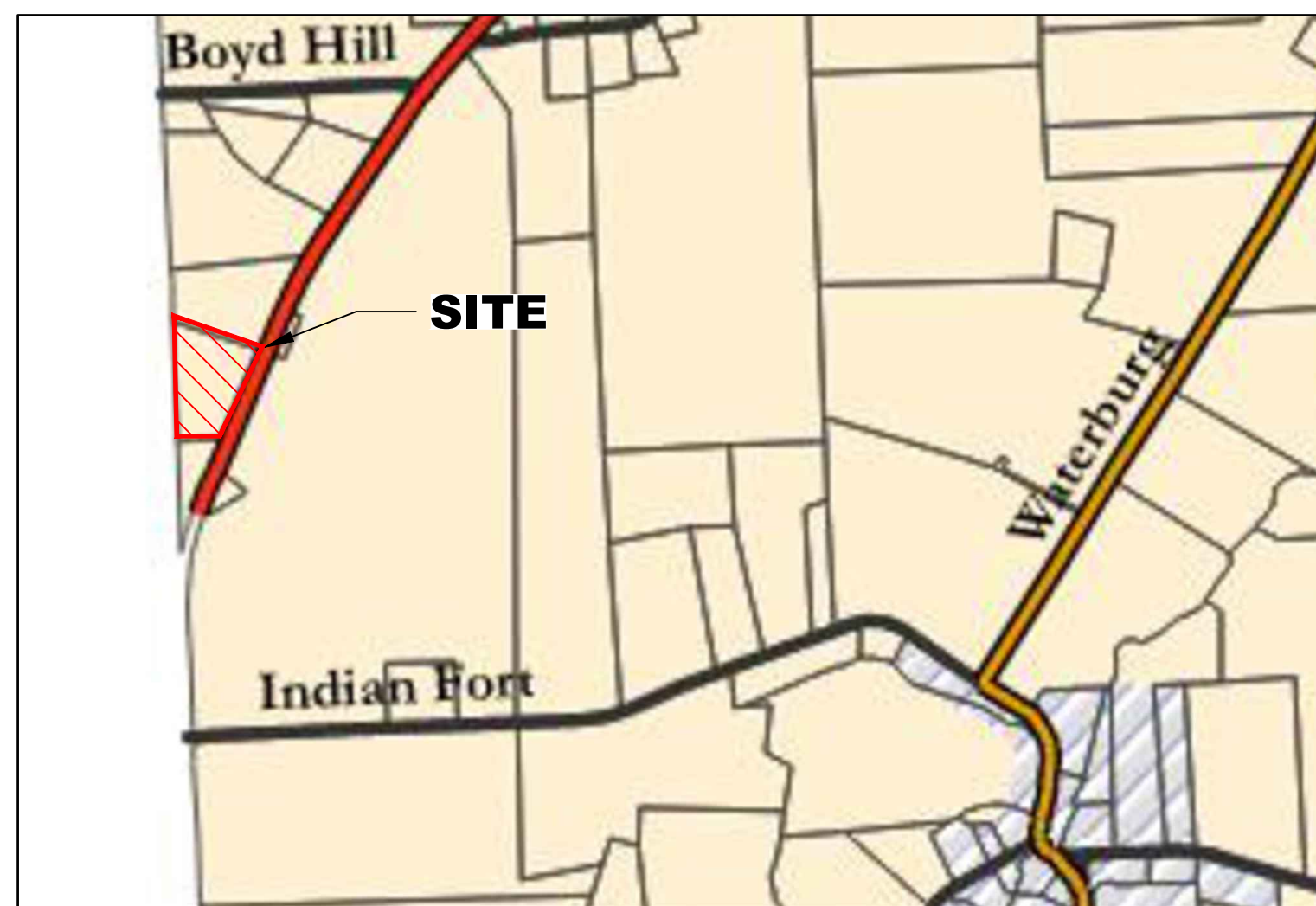
*****Incomplete Applications Will Not Be Accepted For Review*****

(Applications submitted by deadline will be evaluated for completeness and placed on the agenda at the discretion of the Planning Dept.)

Cayuga Addition Recovery Services

6621 N.Y.S. Route 227

Town of Ulysses, County of Tompkins, New York 14886



AERIAL PHOTO
NTS

ZONING MAP
NTS

LOCATION MAP
NTS

ZONING INFORMATION

PARCEL AREA: 5.92 +/- AC.
PROJECT AREA: 3.23 +/- AC.

SBL: 22-2-4 (ULYSSES), 10.00-1-25.2 (HECTOR)
ZONING SCHEDULE:

ZONED: AR - AGRICULTURAL/RURAL ZONE

ZONE	REQUIRED	PROVIDED
MIN. LOT AREA	2 AC.	34.41+/- AC.
MIN. LOT FRONTAGE	400 FT.	534 +/- FT.
MIN. FRONT YARD SETBACK	50 FT.	224 +/- FT.
MIN. SIDE YARD	30 FT.	54 +/- FT.
MIN. REAR YARD DEPTH	75 FT.	35 FT.**
MAX. BUILDING HEIGHT	32 FT.	<32 FT.
MAX. LOT COVERAGE	5%	7.0+/-%

** EXISTING NON-CONFORMITY

	A/R - Agricultural/Rural Zone		LS - Lake Shore Zone
	A2 - Special Ag Zone		HC - Hamlet Center Zone
	R - Residential Zone		HN - Hamlet Neighborhood Zone
	CZ - Conservation Zone		WH - Waterburg Hamlet Zone

DRAWING INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	SP-000
SITE DEMOLITION PLAN	SD-100
SITE LAYOUT PLAN	SP-100
SITE UTILITY PLAN	SP-101
SITE GRADING AND DRAINAGE PLAN	SP-102
EROSION AND SEDIMENT CONTROL PLAN	SP-103
SITE LANDSCAPING PLAN	L-100
DETAILS PAVEMENT	SP-105
DETAILS WATER	SP-106
DETAILS WATER THRUST BLOCKS	SP-107
DETAILS LANDSCAPING EROSION CONTROL	SP-108
DETAILS STORM	SP-109

NEW 25-BED WOMEN'S
RESIDENTIAL TREATMENT FACILITY
Cayuga
ADDITION RECOVERY SERVICES

6621 NY ROUTE 227, TRUMANSBURG, NY
CASAS PROJECT NUMBER: 344470 7 410

NO.	DATE	REMARKS
1	12/27/2023	B/A SUBMITTAL
2	4/11/2023	SITE PLAN SUBMITTAL

REVISIONS

CONSULTANTS:
SITE/CIVIL ENGINEERS:
ADVANCED DESIGN GROUP
761 Cayuga Street
Lewiston, NY 14092
T:(716) 754-2256
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3445 Winton Plaza, Suite 219
Rochester, NY 14623
T:(585) 292-1990
F:(585) 292-1992



**FONTANESE
FOLTS
AUBRECHT
ERNST**
ARCHITECTS
A PROFESSIONAL CORPORATION

(716) 662-2200
6395 WEST QUAKER STREET
ORCHARD PARK, N.Y. 14127

PROJECT NO. 18.03

DATE 03/07/2023

SCALE AS NOTED

DRAWN BY ADG

DRAWING TITLE

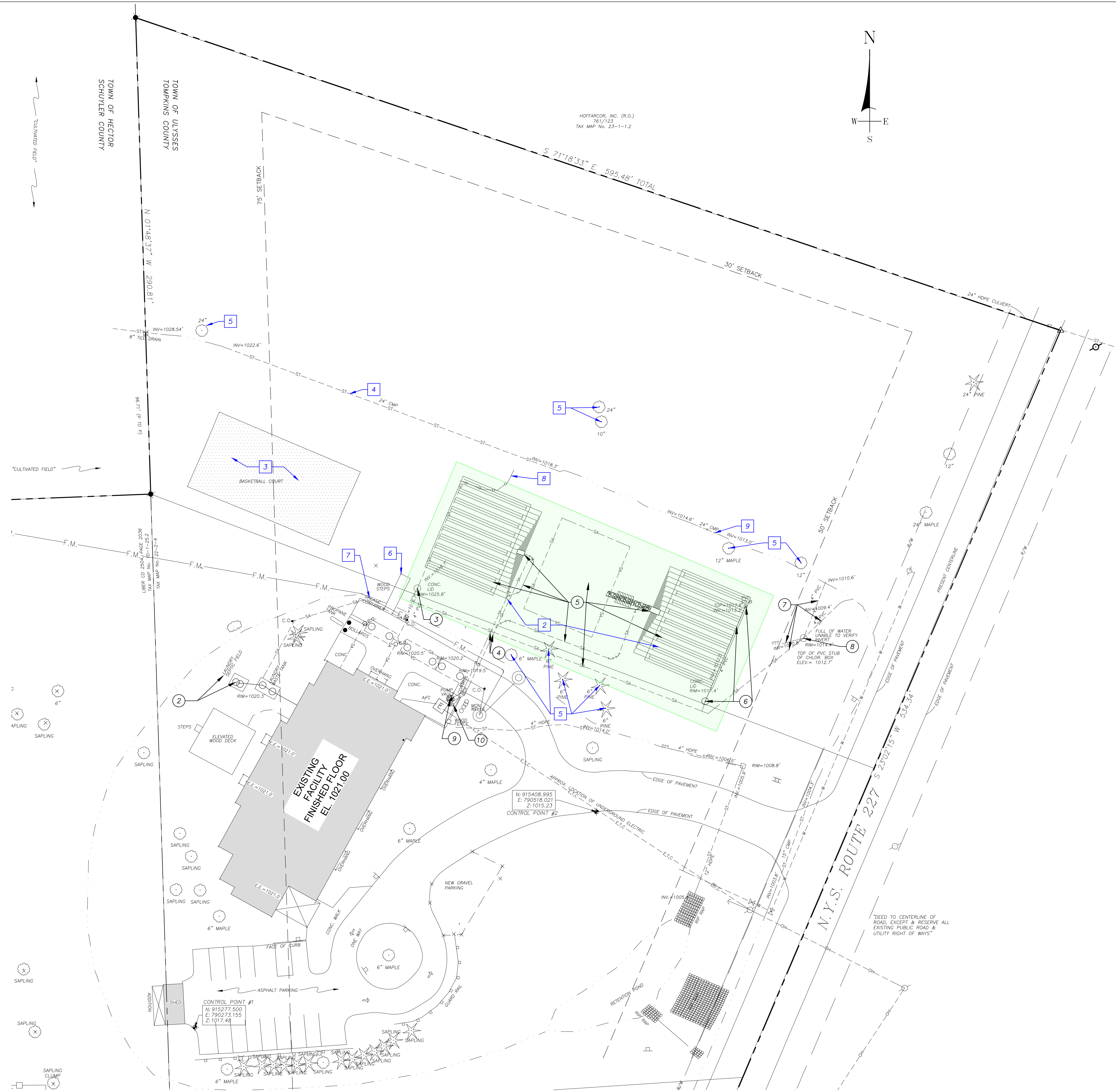
COVER SHEET

FILE

DRAWING NO.

SP-000

SITE PLAN SUBMISSION - 001

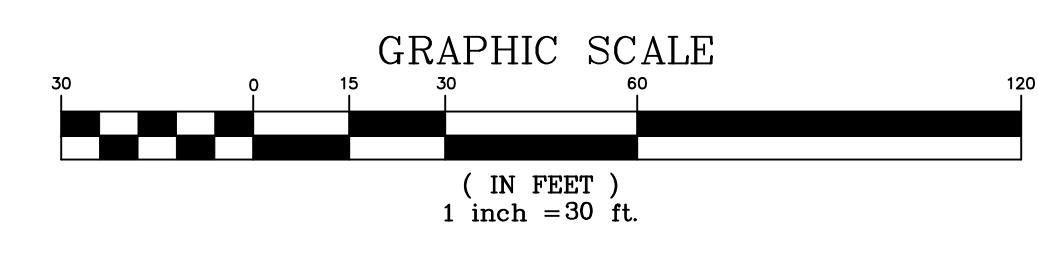


- (X) SANITARY DEMOLITION NOTES**
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH N.Y.S.D.E.C. AND TOWN OF ULYSSES CONSTRUCTION SPECIFICATIONS, RULES AND DETAILS.
 - EXISTING SYPHON CHAMBER TO BE PUMPED OUT AND CLEANED. PUMPED MATERIAL TO BE DISPOSED OF ACCORDING TO ALL APPLICABLE LAWS AND REGULATIONS. TOP OF STRUCTURE TO BE REMOVED AND CHAMBER FILLED WITH SAND OR GRAVEL. INSTALL 4" MIN. TOPSOIL, SEED AND MULCH. LAUNDRY SEPTIC FIELD TO BE ABANDONED IN PLACE.
 - MANHOLE TO BE PUMPED OUT. STRUCTURE TO BE REMOVED. STRUCTURE AND PUMPED MATERIAL TO BE DISPOSED OF ACCORDING TO ALL APPLICABLE LAWS AND REGULATIONS..
 - 2" PVC SDR35 PIPES TO BE CUT AND CAPPED/PLUGGED 20'± NORTHWEST OF EXISTING DRIVEWAY. PIPING BEYOND THIS POINT TO BE REMOVED AND DISPOSED OF ACCORDING TO ALL APPLICABLE LAWS AND REGULATIONS..
 - THREE (3) SAND FILTERS (INCLUDING SAND, FABRIC, PIPING, DISTRIBUTION BOXES AND DRAINAGE STONE) WITHIN SHADED AREA TO BE REMOVED AND DISPOSED OF ACCORDING TO ALL APPLICABLE LAWS AND REGULATIONS.. CONTRACTOR TO PROVIDE DOCUMENTATION TO OWNER AND N.Y.S.D.E.C. REGION 7 DIVISION OF WATER INDICATING ALL MATERIALS HAVE BEEN DISPOSED OF PROPERLY. EXCAVATED AREA TO BE BACKFILLED WITH NATIVE MATERIAL IN 6" LIFTS, COMPACTED TO 95% MP. SELECT FILL REQUIRED UNDER ALL AREAS OF PROPOSED PAVEMENT.
 - MANHOLE AND SANITARY PIPE/STUBS TO BE PUMPED OUT. STRUCTURE AND PIPES TO BE REMOVED. STRUCTURE, PIPES AND PUMPED MATERIAL TO BE DISPOSED OF ACCORDING TO ALL APPLICABLE LAWS AND REGULATIONS..
 - 4" PVC PIPE TO BE REMOVED AND DISPOSED OF ACCORDING TO ALL APPLICABLE LAWS AND REGULATIONS..
 - 750 GAL. CHLORINATION CHAMBER TO BE PUMPED OUT. CHAMBER TO BE REMOVED. STRUCTURE AND PUMPED MATERIAL TO BE DISPOSED OF ACCORDING TO ALL APPLICABLE LAWS AND REGULATIONS..
 - PUMP STATION TOP TO BE REMOVED. ALL INTERIOR COMPONENTS (PUMPS, PIPING, VALVES, CABLING, FLOATS, ETC) TO BE REMOVED. STRUCTURE TO BE FILLED WITH SAND OR GRAVEL. SAW CUT TO PROVIDE RECTANGULAR OPENING IN EXISTING CONCRETE PAD. POUR NEW CONCRETE SLAB TO MATCH SURROUNDING PAD. FIN NEW PAD TO EXISTING PAD WITH 1/2" REBAR, 12" LONG EPOXY 6" INTO EACH FACE OF THE OPENING (FOUR TOTAL).
 - CONTROL PANEL, DISCONNECT, ALL CONDUIT, CABLING AND PEDESTAL TO BE REMOVED.

- (X) DEMOLITION NOTES**
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH TOWN OF ULYSSES CONSTRUCTION SPECIFICATIONS, RULES AND DETAILS. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
 - NEW SYSTEM WAS COMPLETED IN 2019. SEE SANITARY DEMOLITION NOTES ABOVE.
 - BASKETBALL COURT AND APPURTENANCES TO REMAIN.
 - EXISTING STORM DRAINAGE SYSTEM TO REMAIN AND BE MAINTAINED DURING CONSTRUCTION.
 - EXISTING TREES TO BE REMOVED.
 - WOOD STEPS TO BE REMOVED.
 - GREASE CONTAINER TO BE REMOVED.
 - REMOVE EXISTING FENCE.
 - EXISTING STORM DRAINAGE CULVERT TO BE REMOVED - EXISTING DRAINAGE TO BE TEMPORARILY REROUTED UNTIL PERMANENT SYSTEM CAN BE INSTALLED.

LEGEND (NTS)

EXISTING	PROPOSED	
---	---	GAS
---	---	UNDERGROUND ELEC/TELE/CABLE
---	---	OVERHEAD ELEC/TELE
---	---	WATER (FUTURE)
---	---	SANITARY SEWER (FUTURE)
---	---	SANITARY FORCE MAIN
---	---	STORM SEWER
---	---	CONTOUR
XXX.XX	XXX.XX	SPOT ELEVATIONS
---	---	SPOT ELEVATIONS
---	---	BOTTOM CURB/TOP CURB
---	---	ENTRANCE ELEVATION
---	---	FENCE
---	---	PROPERTY/ROW LINE
---	---	EASEMENT
---	---	DRAINAGE DITCH/SWALE
---	---	SELECT BACKFILL
---	---	GAS VALVE
---	---	UTILITY POLE
---	---	GUY WIRE
---	---	LIGHT
---	---	ELECTRIC MANHOLE
---	---	SANITARY MANHOLE
---	---	CLEANOUT
---	---	STMH
---	---	STORM MANHOLE
---	---	CATCHBASIN (ROADWAY)
---	---	REAR YARD DRAIN (INLET)
---	---	HYDRANT
---	---	SIGN
---	---	GRADE TO DRAIN
---	---	WATER VALVE
---	---	TEST PIT
---	---	TBR
---	---	TO BE REMOVED
---	---	BENCH MARK
---	---	DECIDUOUS TREE
---	---	CONIFEROUS TREE
---	---	SHRUB
---	---	IRON PIN FOUND
---	---	IRON PIPE FOUND
---	---	CALCULATED POINT



01. SITE DEMOLITION PLAN

1" = 30'-0"

NEW 25-BED WOMEN'S RESIDENTIAL TREATMENT FACILITY

4/7/2023 SITE PLAN SUBMITTAL
1/20/2023 BTA SUBMITTAL

Revisions:

NO.	DATE	REMARKS

CONSULTANTS:

SITE/CIVIL ENGINEERS:
ADVANCED DESIGN GROUP
781 Cayuga Street
Leviston, NY 14092
T:(716) 754-2258
F:(716) 754-4252

STRUCTURAL ENGINEERS:
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2110 South Clinton Avenue, Suite 1
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F:(585) 697-1764

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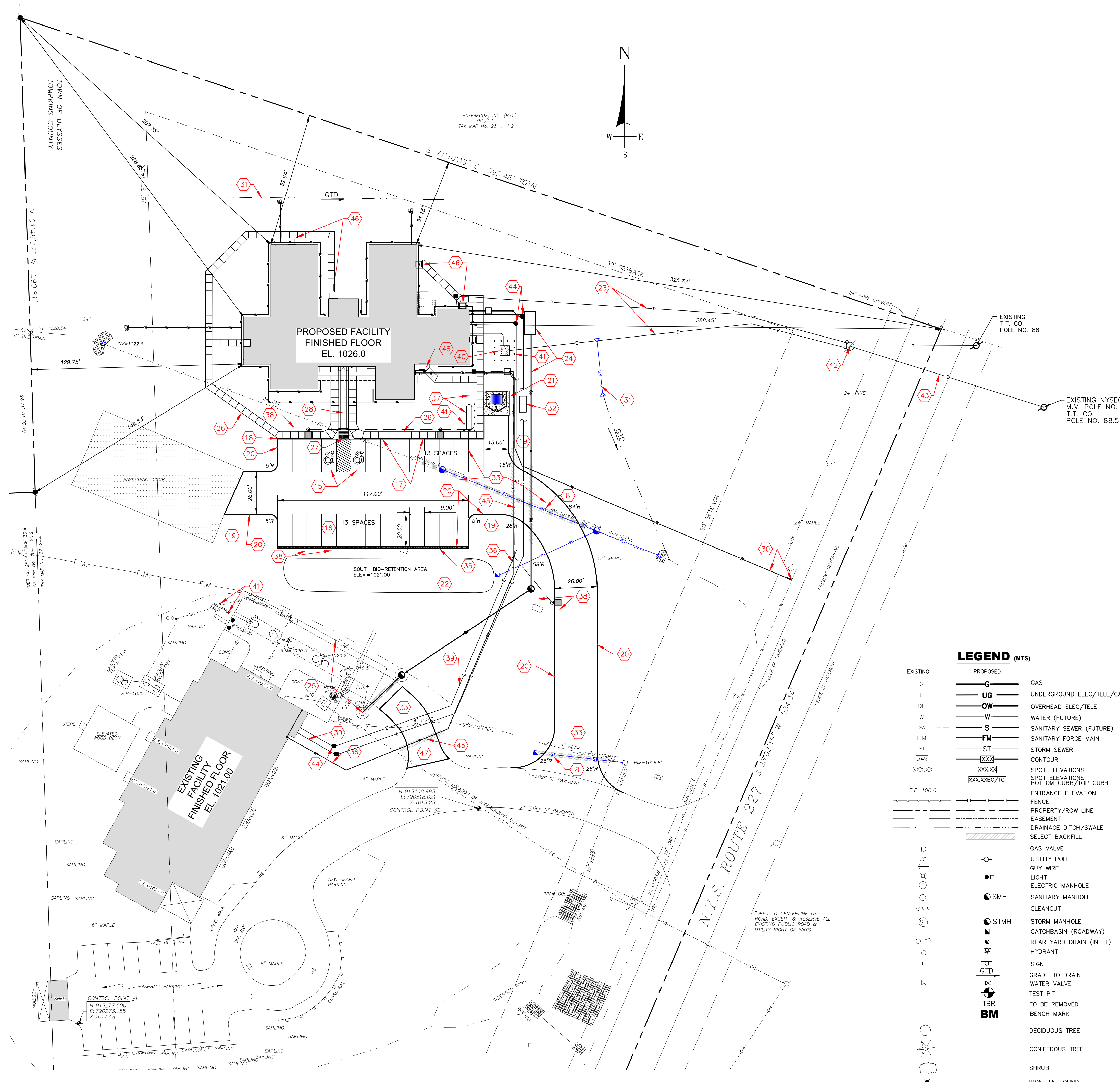
STATE OF NEW YORK
LICENSED PROFESSIONAL ENGINEER
0017516

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6395 WEST QUAKER STREET
ORCHARD PARK, N.Y. 14127

PROJECT NO. 18.03
DATE 03/07/2023
SCALE AS NOTED
DRAWN BY ADG
DRAWING TITLE SITE DEMOLITION PLAN

FILE
DRAWING NO. SD-100

SITE PLAN SUBMISSION - 001

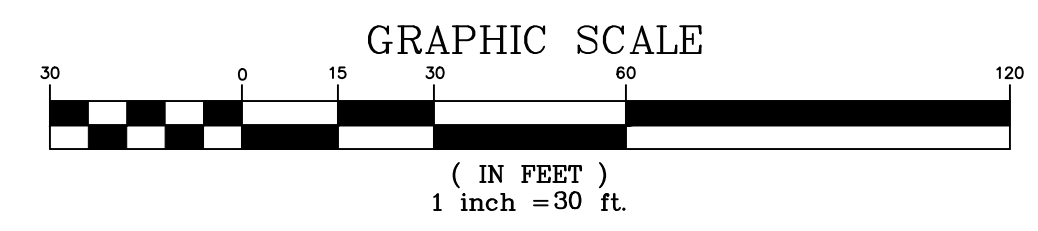


CONSTRUCTION NOTES

- UTILITIES AS SHOWN ON THESE DRAWINGS ARE PLOTTED FROM FIELD EVIDENCE AND INFORMATION SUPPLIED BY VARIOUS UTILITY AGENCIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. ADVANCED DESIGN GROUP P.E. AND L.S., P.C. ASSUMES NO RESPONSIBILITY AS TO THE ACCURACY OF THE UNDERGROUND UTILITIES. CONTRACTORS MUST CALL U.F.P.O. AT LEAST TWO WORKING DAYS PRIOR TO ANY EXCAVATION 1-800-962-7962. THE CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT CONSTRUCTION PROCEEDS IN ACCORDANCE WITH THE LATEST REVISION OF THE DESIGN DRAWINGS. CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS FOUND ON SITE PRIOR TO CONSTRUCTION.
- ALL AREAS THAT ARE NOT PAVED OR LANDSCAPED (SEE SITE LANDSCAPING PLAN SHEET L-100) MUST BE PERMANENTLY VEGETATED WITH A MINIMUM OF 5" OF TOPSOIL AND GRASS SEED (SEE SEED MIXTURE FOR PERMANENT VEGETATION SHEET SP-108) AND MAINTAINED AS LAWN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES. ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 6 INCHES IN THICKNESS. REFER TO GLYNN GROUP ENGINEERING & ARCHITECTURE BORROW PIT AND EARTHWORK PLAN "B1" FOR LOAD BEARING FILL COMPACTATION REQUIREMENTS.
- FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS. FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- SELECT BACKFILL IS REQUIRED FOR ALL UTILITIES THAT CROSS THROUGH AND WITHIN FIVE (5) FEET OF ANY PAVEMENT AREA (TYP.).
- ALL PROPOSED ELEVATIONS SHOWN HEREON ARE FINISHED GRADE ELEVATIONS (SEE SITE GRADING AND DRAINAGE PLAN).
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ULYSSES CONSTRUCTION SPECIFICATIONS, RULES AND DETAILS.
- THE GENERAL CONTRACTOR AND OWNER SHALL FURNISH THE REQUIRED BUILDING AND PLUMBING PERMITS AND MAINTENANCE BONDS. ALL OTHER PERMITS AND BONDS REQUIRED FOR THIS WORK INCLUDING, BUT NOT LIMITED TO SITE CONSTRUCTION, SHALL BE PROVIDED BY THE SUBCONTRACTOR.
- ALL SIGNAGE SHALL BE IN CONFORMANCE WITH THE TOWN OF ULYSSES' REGULATIONS. ALL SIGNAGE TO BE APPROVED BY THE TOWN OF ULYSSES PRIOR TO INSTALLATION.
- EXTERIOR LIGHTING FOR PROPOSED BUILDING TO BE DARK SKY FRIENDLY LIGHTING. SEE ARCHITECTURAL PLANS FOR FINAL LOCATIONS AND SPECIFICATIONS. LIGHTS TO BE LOCATED AT BUILDING ENTRANCES FOR SAFETY.
- CONTRACTOR TO REFER TO GEOTECHNICAL ENGINEERING REPORT, IF AVAILABLE. SUBMISSION OF A BID INDICATES THAT THE SITE CONTRACTOR AND THE GENERAL CONTRACTOR HAVE REVIEWED THE FINDINGS OF THE REPORT/TEST PITS AND WILL PROVIDE ALL WORK IN CONFORMANCE WITH ITS RECOMMENDATIONS.
- PROPOSED VAN ACCESSIBLE HANDICAP PARKING SPACE (9 FT. X 20 FT.) WITH HANDICAP PARKING SIGN (SEE DETAIL) AND PAVEMENT MARKINGS (TYPICAL OF 2 SPACES).
- ALL STANDARD PARKING SPACES ARE TO BE 9 FT. X 20 FT. (TYPICAL OF 26 SPACES).
- 6" UPRIGHT CURBING - SEE CURBING DETAIL.
- LIMIT OF PROPOSED 6" CURBING - CURBING TO TAPER TO MATCH ADJACENT GRADE.
- SNOW STORAGE AREA (TYP.)
- APPROXIMATE LOCATION PROPOSED EDGE OF PAVEMENT - NO CURBING - TYP.
- CONCRETE DUMPSTER PAD AREA- SEE HEAVY DUTY CONCRETE DETAIL. PAD SIZE TO BE 16' WIDE BY 15' DEEP AND EXTEND 4' BEYOND THE GATE FOR DUMPSTER FRONT LOADING. CONTRACTOR TO CONFIRM PAD SIZE WITH OWNER AND REFUSE COMPANY PRIOR TO CONSTRUCTION. TRASH DUMPSTER AREA TO BE ENCLOSED WITH 1" X 6" DOG EARED WOOD FENCE SECURED TO GALVANIZED PIPE WITH HEAVY DUTY PIPE GATES.
- BIO-RETENTION AREA PLANTINGS TYPE TO BE OBTAINED FROM TABLE H.5 NATIVE PLANT GUIDE FOR STORMWATER MANAGEMENT AREAS (NY) LOCATED IN APPENDIX H OF THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL. PLANTINGS MUST BE ZONE 2 COMPLIANT. PLANT SELECTION SHALL BE DIVERSE. LAYOUT SHALL BE RANDOM AND NATURAL. PLANTINGS SHALL BE PLACED APPROX. 18" ON CENTER. - SEE SAMPLE BIO-RETENTION AREA PLANTING PLAN WITHIN DETAIL SHEETS.
- APPROXIMATE LOCATION PROPOSED UNDERGROUND ELECTRIC/TELEPHONE/CABLE WITHIN TWO (2) 4" PVC SCHED. 80 CONDUITS - SEE SITE ELECTRICAL DRAWINGS. INSTALLATION TO BE COORDINATED WITH UTILITY OWNER.
- APPROXIMATE LOCATION PROPOSED SEPTIC TANK AND SEWER LATERAL - SEE SITE UTILITY PLAN. SANITARY SERVICE INSTALLATION TO BE IN CONFORMANCE WITH THE TOWN OF ULYSSES REGULATIONS AND REQUIREMENTS.
- EXISTING GRINDER PUMP AND FORCEMAIN TO LEACH FIELD TO REMAIN.
- 4 FT. CONCRETE SIDEWALK, TYP. - SEE DETAIL.
- CONCRETE WALK CURB RAMP - SEE DETAIL.
- SEE ARCHITECTURAL PLANS FOR PATIO AND ENTRANCE AREA DESIGN.
- CONTRACTOR TO COORDINATE WITH PRIVATE UTILITY OWNERS PRIOR TO START OF CONSTRUCTION AND NOTIFY DESIGN ENGINEER OF ANY UTILITY RE-LOCATIONS THAT MAY BE NECESSARY AND HAVE AN AFFECT ON THE APPROVED DESIGN (EX: POLES AND GUY WIRES, BURIED SERVICES, ETC).
- 2 1/2" TYPE K COPPER DOMESTIC WATER SERVICE CONNECTION TO EXISTING WATER MAIN. CONTRACTOR TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING WATER MAIN. LOCATION AND CONNECTION TO BE COORDINATED WITH THE TOWN OF ULYSSES. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR INTERNAL CONNECTIONS. NEW WATER METER AND NEW BACKFLOW PREVENTION DEVICE LOCATED INSIDE BUILDING - SEE ARCHITECTURAL, MECHANICAL AND PLUMBING DRAWINGS.
- VEGETATED SWALES TO BE PLANTED WITH PERMANENT VEGETATION SEED MIXTURE (SEE DETAILS) AND MAINTAINED AT A 6"± HEIGHT.
- PROPOSED GENERATOR - SEE MECHANICAL DRAWINGS.
- HEAVY DUTY ASPHALT PAVEMENT - SEE DETAIL.
- NOT USED
- 6" WIDE (MIN.) PEA GRAVEL DIAPHRAGM (TYP.) ADJACENT TO BIO-RETENTION AREAS - NO CURBING - SEE BIO-RETENTION AREA TYPICAL SECTION DETAIL.
- 4" PVC SDR18 FIRE PROTECTION LINE - SEE ARCHITECTURAL, MECHANICAL AND PLUMBING DRAWINGS. ALL FITTINGS SHALL BE PROPERLY THRUST BLOCKED AND RESTRAINED - SEE DETAILS.
- APPROXIMATE LOCATION PROPOSED PROPANE TANK (BY OTHERS) AND PROPANE GAS SERVICE - SEE ARCHITECTURAL, MECHANICAL AND PLUMBING DRAWINGS.
- SITE LIGHTING AND 1" PVC SCHED. 80 CONDUIT (TYP) - SEE SITE ELECTRICAL DRAWINGS.
- 4" PVC SCHED. 80 CONDUIT WITH INNERDUCT AND FIRE ALARM FIBER OPTIC CABLE - SEE SITE ELECTRICAL DRAWINGS. CONDUIT TO BE PLACED IN SAME TRENCH AS FIRE PROTECTION LINE.
- 6'x6' CONCRETE TRANSFORMER PAD - SEE CONCRETE PAD DETAIL AND SITE ELECTRICAL DRAWINGS.
- 6" CONCRETE BOLLARD (TYP. OF 27) - SEE BOLLARD TYPICAL DETAIL.
- NEW POWER POLE (BY OTHERS) - CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER. - SEE SITE ELECTRICAL DRAWINGS.
- NEW OVERHEAD ELECTRICAL SERVICE (BY OTHERS) - CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER. - SEE SITE ELECTRICAL DRAWINGS.
- ELECTRICAL HAND HOLE - SEE SITE ELECTRICAL DRAWINGS.
- ENCASE ELECTRICAL CONDUIT UNDER PAVEMENT IN CONCRETE - SEE SITE ELECTRICAL DRAWINGS AND DETAILS.
- CONCRETE LANDING/STEP - SEE ARCHITECTURAL PLANS.
- SAW CUT EXISTING ASPHALT PAVEMENT AND REPLACE.

LEGEND (NTS)

EXISTING	PROPOSED	DESCRIPTION
---	---	GAS
---	---	UNDERGROUND ELEC./TELE/CABLE
---	---	OVERHEAD ELEC./TELE
---	---	WATER (FUTURE)
---	---	SANITARY SEWER (FUTURE)
---	---	SANITARY FORCE MAIN
---	---	STORM SEWER
---	---	CONTOUR
---	---	SPOT ELEVATIONS
---	---	SPOT ELEVATIONS
---	---	BOTTOM CURB/TOP CURB
---	---	ENTRANCE ELEVATION
---	---	FENCE
---	---	PROPERTY/ROW LINE
---	---	EASEMENT
---	---	DRAINAGE DITCH/SWALE
---	---	SELECT BACKFILL
---	---	GAS VALVE
---	---	UTILITY POLE
---	---	LIGHT
---	---	ELECTRIC MANHOLE
---	---	SANITARY MANHOLE
---	---	CLEANOUT
---	---	STORM MANHOLE
---	---	CATCHBASIN (ROADWAY)
---	---	REAR YARD DRAIN (INLET)
---	---	HYDRANT
---	---	SIGN
---	---	GRADE TO DRAIN
---	---	WATER VALVE
---	---	TEST PIT
---	---	TO BE REMOVED
---	---	BENCH MARK
---	---	DECIDUOUS TREE
---	---	CONIFEROUS TREE
---	---	SHRUB
---	---	IRON PIN FOUND
---	---	IRON PIPE FOUND
---	---	CALCULATED POINT



01. SITE LAYOUT PLAN

1" = 30'-0"

SITE PLAN SUBMISSION - 001

NEW 25-BED WOMEN'S RESIDENTIAL TREATMENT FACILITY

6621 NY ROUTE 227, TRUMANSBURG, NY
OASAS PROJECT NUMBER: 344470 7410

Cayuga
ADDICTION RECOVERY SERVICES

4/1/2023 SITE PLAN SUBMITTAL
1/17/2023 BIA SUBMITTAL

NO.	DATE	REMARKS

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STATE OF NEW YORK
LICENSED PROFESSIONAL ENGINEER
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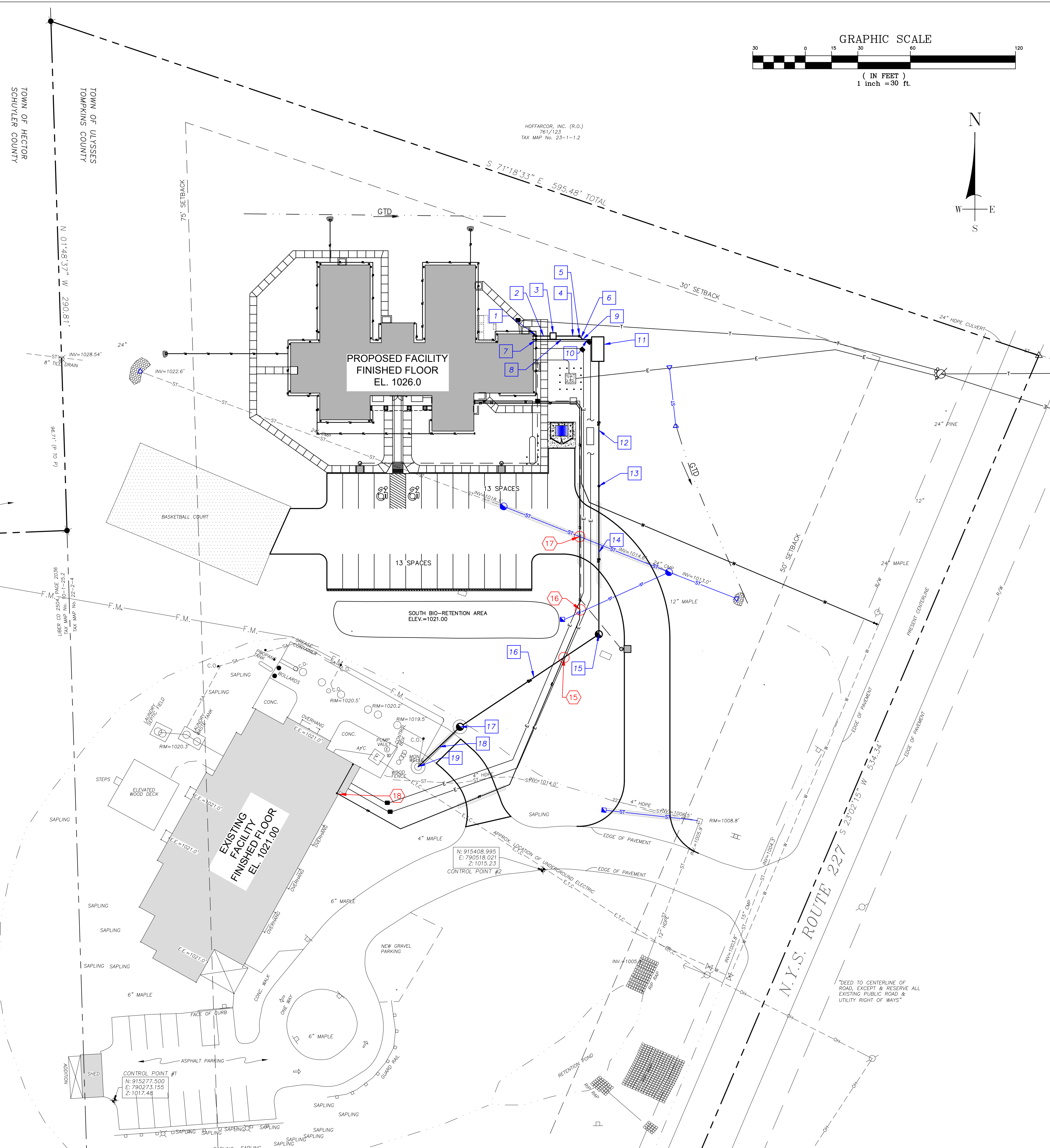
PROJECT NO.	18.03
DATE	03/07/2023
SCALE	AS NOTED
DRAWN BY	ADG
DRAWING TITLE	SITE LAYOUT PLAN
FILE	
DRAWING NO.	SP-100

LEGEND (NTS)		
EXISTING	PROPOSED	
---	—C—	GAS
---	—E—	UNDERGROUND ELEC./TELE/CABLE
---OH---	—OW—	OVERHEAD ELEC./TELE
---	—W—	WATER (FUTURE)
---	—S—	SANITARY SEWER (FUTURE)
---	—F.M.—	SANITARY FORCE MAIN
---	—ST—	STORM SEWER
---	—XXX—	CONTOUR
XXX.XX	XXX.XX	SPOT ELEVATIONS
---	XXX.XXBC/TC	BOTTOM CURB/TOP CURB
---	---	ENTRANCE ELEVATION
---	---	FENCE
---	---	PROPERTY/ROW LINE
---	---	EASEMENT
---	---	DRAINAGE DITCH/SWALE
---	---	SELECT BACKFILL
---	---	GAS VALVE
---	---	UTILITY POLE
---	---	GUY WIRE
---	---	LIGHT
---	---	ELECTRIC MANHOLE
---	---	SANITARY MANHOLE
---	---	CLEANOUT
---	---	STORM MANHOLE
---	---	CATCHBASIN (ROADWAY)
---	---	REAR YARD DRAIN (INLET)
---	---	HYDRANT
---	---	SIGN
---	---	GRADE TO DRAIN
---	---	WATER VALVE
---	---	TEST PIT
---	---	TO BE REMOVED
---	---	BENCH MARK
---	---	DECIDUOUS TREE
---	---	CONIFEROUS TREE
---	---	SHRUB
---	---	IRON PIN FOUND
---	---	IRON PIPE FOUND
---	---	CALCULATED POINT

SANITARY STRUCTURE TABLE	
1	4" PVC SDR-35 GREASY WASTE DISCHARGE S=1.0% MIN. WITH PVC SCHED.40 VENT, TRAP AND CLEANOUT. INV @ 5' OUTSIDE BLDG = 1019.90±
2	8L.F. 4" PVC SDR-35 @ S=1.0% MIN.
3	1,300 GAL. ZURN Z1172 GREASE INTERCEPTOR W/ ZABEL OUTLET FILTER RIM=1024.85 INV IN/OUT=1019.89 (4")
4	17L.F. 4" PVC SDR-35 @ S=1.0%
5	4" PVC SDR-35 45° ELBOW WITH 4" CLEANOUT RIM=1024.6 INV=1019.72 (4")
6	2L.F. 4" PVC SDR-35 @ S=1.0%
7	4" PVC SDR-35 SANITARY SERVICE S=1.0% MIN. WITH PVC SCHED.40 VENT TRAP AND CLEANOUT. INV @ 5' OUTSIDE BLDG = 1019.95±
8	29L.F. 4" PVC SDR-35 @ S=1.0%
9	4"x4"x6" PVC SDR-35 WYE CONNECTION INV=1019.70
10	5L.F. 6" PVC SDR-35 @ S=1.0%
11	4,500 GAL. SEPTIC TANK W/ ZABEL OUTLET FILTER RIM=1024.5 INV IN=1017.00 (6") INV OUT=1016.74 (6")
12	71± L.F. 6" PVC SDR-35 @ S=1.0%
13	CLEANOUT RIM=1023.4 N INV=1016.03 (6")
14	83± L.F. 6" PVC SDR-35 @ S=1.0%
15	SAN MH RIM=1017.79 N INV=1015.20 (6") SW INV=1015.20 (6")
16	90± L.F. 6" PVC SDR-35 @ S=1.0%
17	EXISTING SAN MH RIM=1017.79 NE INV=1014.30 (6") NEW SW INV=1014.29 (6") EXISTING
18	30± L.F. 6" PVC EXISTING
19	APPROX. LOCATION EXISTING SANITARY PUMP STATION (BY OTHERS) RIM=1019± NE INV=1013.98 (6") N INV=1013.98 (6") N INV OUT=1014.48 (2.5" SCH 26 PVC)

CONSTRUCTION NOTES

- THE FOLLOWING CONSTRUCTION NOTES APPLY TO THE 25-BED FACILITY SANITARY SEWER INSTALLATION ONLY. SEE SITE LAYOUT PLAN SP-100 FOR ALL OTHER DESIGN INFORMATION AND CONSTRUCTION NOTES.
- UTILITIES AS SHOWN ON THESE DRAWINGS ARE PLOTTED FROM FIELD EVIDENCE AND INFORMATION SUPPLIED BY VARIOUS UTILITY AGENCIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. ADVANCED DESIGN GROUP PE & LS, PC ASSUMES NO RESPONSIBILITY AS TO THE ACCURACY OF THE UNDERGROUND UTILITIES. CONTRACTORS MUST CALL U.F.P.O. AT LEAST TWO WORKING DAYS PRIOR TO ANY EXCAVATION 1-800-962-7962. THE CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL AREAS THAT ARE NOT PAVED OR LANDSCAPED MUST BE PERMANENTLY VEGETATED WITH A MINIMUM OF 5" OF TOPSOIL AND GRASS SEED AND MAINTAINED AS LAWN.
 - TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
 - AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
 - ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES. ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 6 INCHES IN THICKNESS.
 - FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS. FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
 - ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
 - SELECT BACKFILL IS REQUIRED FOR ALL UTILITIES THAT CROSS THROUGH AND WITHIN FIVE (5) FEET OF ANY PAVEMENT AREA.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ULYSSES AND TOMPKINS COUNTY CONSTRUCTION SPECIFICATIONS, RULES AND DETAILS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PERMITS AND PROVIDE ALL BONDS REQUIRED FOR THIS WORK INCLUDING, BUT NOT LIMITED TO, SITE CONSTRUCTION.
 - CONTRACTOR TO REFER TO GEOTECHNICAL REPORT, IF AVAILABLE, FOR ALL SITE WORK, OR PROVIDE TEST PITS; SUBMISSION OF A BID INDICATES THAT THE SITE CONTRACTOR AND THE GENERAL CONTRACTOR HAVE ACCEPTED THE FINDINGS OF THE REPORT/TEST PITS AND WILL PROVIDE ALL WORK IN CONFORMANCE WITH ITS RECOMMENDATIONS.
 - THE GENERAL CONTRACTOR AND OWNER SHALL FURNISH THE REQUIRED BUILDING AND PLUMBING PERMITS AND MAINTENANCE BONDS. ALL OTHER PERMITS AND BONDS REQUIRED FOR THIS WORK INCLUDING, BUT NOT LIMITED TO, SITE CONSTRUCTION, SHALL BE PROVIDED BY THE SUBCONTRACTOR.
 - CONTRACTOR TO COORDINATE WITH PRIVATE UTILITY OWNERS PRIOR TO START OF CONSTRUCTION AND NOTIFY DESIGN ENGINEER OF ANY UTILITY RE-LOCATIONS THAT MAY BE NECESSARY AND HAVE AN AFFECT ON THE APPROVED DESIGN (EX. POLES AN GUY WIRES, BURIED SERVICES, ETC).
 - A MINIMUM OF 18" CLEARANCE SHALL BE MAINTAINED BETWEEN ALL UTILITY CROSSINGS. WATERLINES TO BE DEFLECTED AS NECESSARY TO PROVIDE MINIMUM 18" VERTICAL CLEARANCE.
 - UTILITY CROSSING: 6" PVC SDR35 SANITARY INV=1014.98
4" PVC SDR21 FIRE PROTECTION LINE INV=1012.15±
2" PVC SCHED. 80 FIBER OPTIC LINE INV=1017.3±
 - UTILITY CROSSING: 12" HDPE STORM INV=1016.30
4" PVC SDR21 FIRE PROTECTION LINE INV=1013.5±
2" PVC SCHED. 80 FIBER OPTIC LINE INV=1015.5±
 - UTILITY CROSSING: 24" HDPE STORM INV=1017.38
4" PVC SDR21 FIRE PROTECTION LINE INV=1016.3±
2" PVC SCHED. 80 FIBER OPTIC LINE INV=1018.15±
 - CONNECTION TO 4" FIRE SERVICE LINE - SEE ARCHITECTURAL, MECHANICAL AND PLUMBING DRAWINGS.



01. SITE UTILITY PLAN

1" = 30'-0"

NEW 25-BED WOMEN'S RESIDENTIAL TREATMENT FACILITY

Cayuga
Addiction Recovery Services

6621 NY ROUTE 227, TRUMANSBURG, NY
OASAS PROJECT NUMBER: 3444701410

4/1/2023 SITE PLAN SUBMITTAL
1/17/2023 BIA SUBMITTAL

NO.	DATE	REMARKS

REVISIONS

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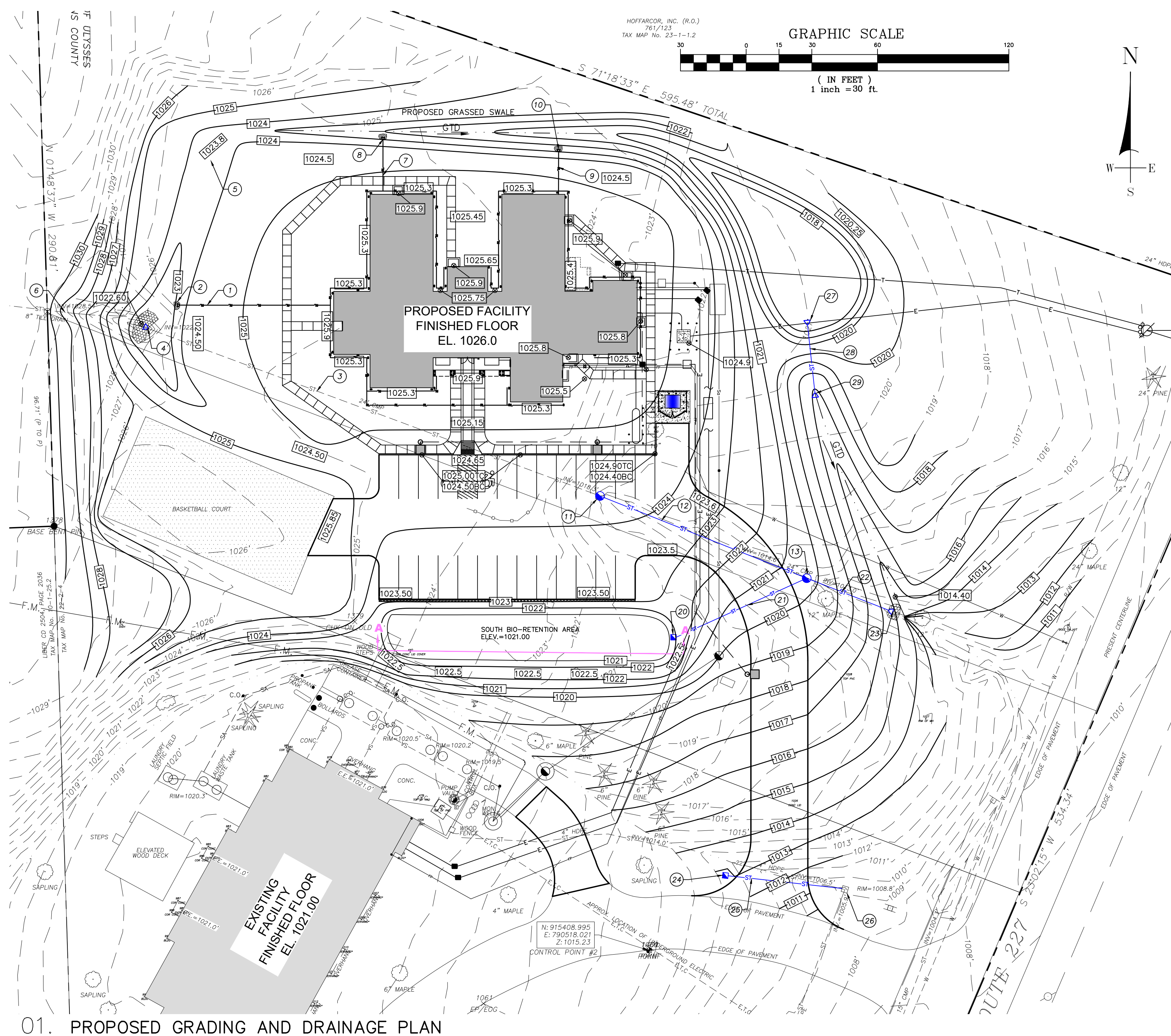
STATE OF NEW YORK
LICENSED PROFESSIONAL ENGINEER
017516

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(716) 662-2200
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ORCHARD PARK, N.Y. 14127

PROJECT NO. 18.03
DATE 03/07/2023
SCALE AS NOTED
DRAWN BY ADG
DRAWING TITLE SITE UTILITY PLAN

FILE
DRAWING NO. SP-101

SITE PLAN SUBMISSION - 001



LEGEND (NTS)

EXISTING	PROPOSED	
G	C	GAS
E	UG	UNDERGROUND ELEC./TELE./CABLE
OH	OW	OVERHEAD ELEC./TELE
W	W	WATER (FUTURE)
SA	S	SANITARY SEWER (FUTURE)
F.M.	FM	SANITARY FORCE MAIN
ST	ST	STORM SEWER
3.49	XXX	CONTOUR
XXX.XX	XXX.XX	SPOT ELEVATIONS
	XXX.XX/TC	BOTTOM CURB/TOP CURB
EE=100.0		ENTRANCE ELEVATION
		FENCE
		PROPERTY/ROW LINE
		EASEMENT
		DRAINAGE DITCH/SWALE
		SELECT BACKFILL
		GAS VALVE
		UTILITY POLE
		GUY WIRE
		LIGHT
		ELECTRIC MANHOLE
		SANITARY MANHOLE
		CLEANOUT
		STMH
		CATCHBASIN (ROADWAY)
		REAR YARD DRAIN (INLET)
		HYDRANT
		SIGN
		GRADE TO DRAIN
		WATER VALVE
		TEST PIT
		TO BE REMOVED
		BENCH MARK
		BM
		DECIDUOUS TREE
		CONIFEROUS TREE
		SHRUB
		IRON PIN FOUND
		IRON PIPE FOUND

STORM STRUCTURE TABLE

1 ROOF LEADER CONNECTION (SEE ARCHITECTURAL PLANS) 60L.F. 6" PVC SDR35 @ S=1.0%	13 STORM MANHOLE (4" DIA.) RIM=1020.40 NW INV=1016.32 (24") SW INV=1017.41 (12") SE INV=1016.00 (24")
2 6" PIPE OUTLET W/ ROCK OUTLET PROTECTION INV=1023.00	14-19 NOT USED
3 EXISTING 220L.F. 24" CMP @ S=1.95% TO REMAIN - CONDITION TO BE FIELD VERIFIED BY CONTRACTOR	20 CATCH BASIN (24" ID) BIO-RETENTION AREAS OUTLET STRUCTURE RIM=1021.60 W INV=1017.54 (6") NE INV=1017.54 (12")
4 24" EXISTING CMP PIPE INLET - INSTALL END SECTION W/ ROCK INLET PROTECTION INV=1022.60	21 64L.F. 12" HDPE @ S=0.2%
5 EMERGENCY SPILLWAY - 20 FT WIDE INV=1023.90	22 20L.F. 24" HDPE @ S=2.0%
6 EXISTING 8" PIPE TO REMAIN INV=1028.54	23 PIPE OUTLET W/ END SECTION AND ROCK OUTLET PROTECTION INV=1015.20 (24")
7 ROOF LEADER CONNECTION (SEE ARCHITECTURAL PLANS) 23L.F. 6" PVC SDR35 @ S=1.0%	24 CATCH BASIN (24" ID) RIM=1012.80 E INV=1008.50 (12")
8 6" PIPE OUTLET W/ ROCK OUTLET PROTECTION INV=1023.00	25 52L.F. 12" HDPE @ S=5.0%
9 ROOF LEADER CONNECTION (SEE ARCHITECTURAL PLANS) 20L.F. 6" PVC SDR35 @ S=1.0%	26 CATCH BASIN (EXIST.) RIM=1008.80 S INV=1005.90 (12" EXIST.) W INV=1006.50 (4" EXIST. TBR) W INV=1005.90 (12" NEW)
10 6" PIPE OUTLET W/ ROCK OUTLET PROTECTION INV=1023.00	27 18" PIPE INLET W/ END SECTION INV = 1017.90
11 STORM MANHOLE (4" DIA.) - TO BE INSTALLED AT THE END OF THE EXISTING 24" CMP RIM=1024.3 NW,SE INV=1018.30 (24")	28 35L.F. 18" HDPE PIPE @ S=0.29%
12 102L.F. 24" HDPE @ S=1.95%	29 18" PIPE OUTLET W/ END SECTION INV = 1017.80

01. PROPOSED GRADING AND DRAINAGE PLAN

1" = 30'-0"

NEW 25-BED WOMEN'S RESIDENTIAL TREATMENT FACILITY

2 4/1/2023 SITE PLAN SUBMITTAL
13/20/2023 BZA SUBMITTAL

NO.	DATE	REMARKS

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PROJECT NO.	18.03
DATE	03/07/2023
SCALE	AS NOTED
DRAWN BY	ADG
DRAWING TITLE	

SITE GRADING AND DRAINAGE PLAN

DRAWING NO.
SP-102

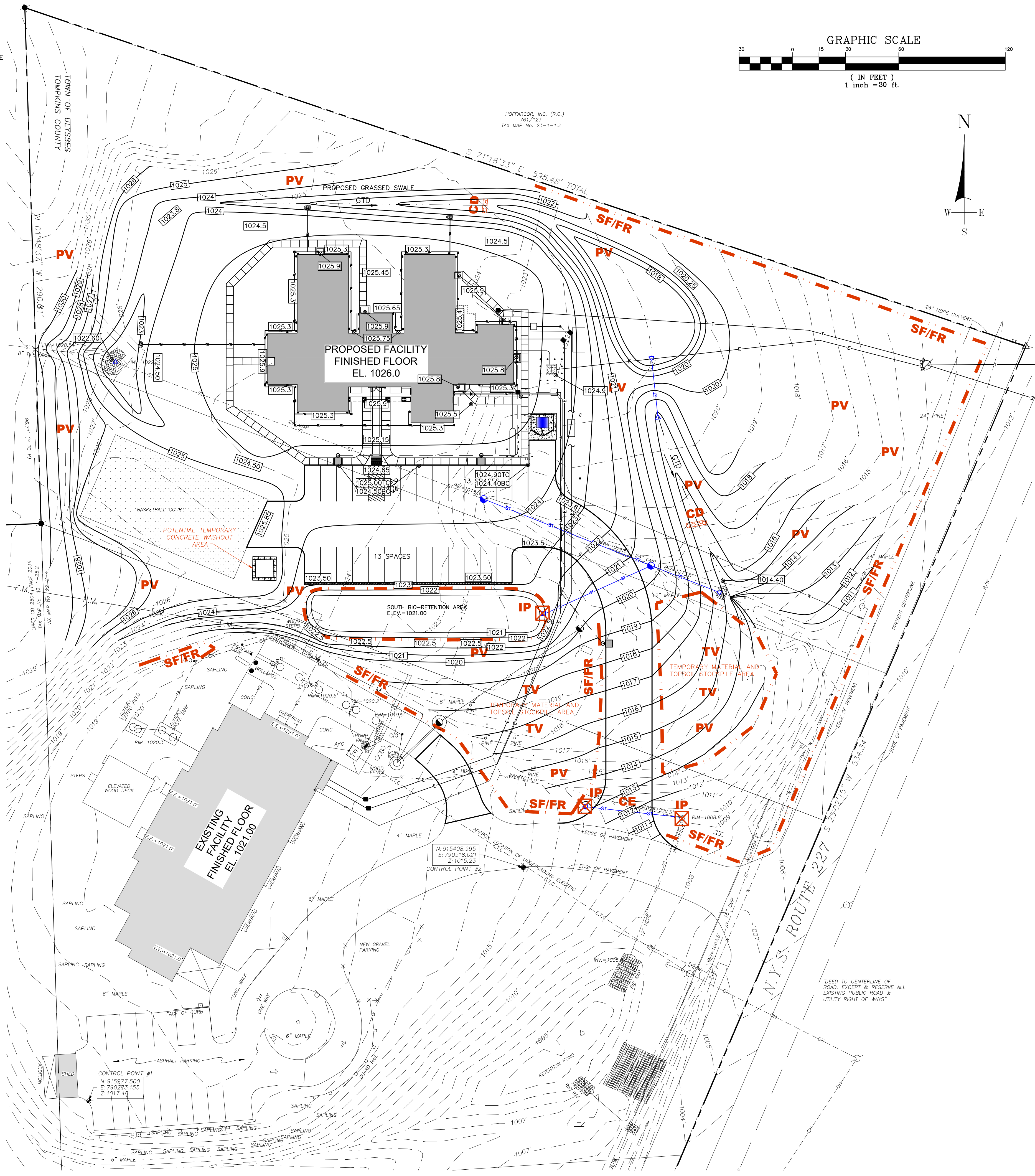
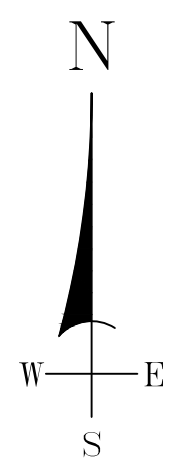
SITE PLAN SUBMISSION - 001

6621 NY ROUTE 227, TRUMANSBURG, NY
GASAS PROJECT NUMBER: 344470 7410



LEGEND (NTS)

EXISTING	PROPOSED	
---	G	GAS
---	UG	UNDERGROUND ELEC/TELE/CABLE
---	OW	OVERHEAD ELEC/TELE
---	W	WATER (FUTURE)
---	SA	SANITARY SEWER (FUTURE)
---	FM	SANITARY FORCE MAIN
---	ST	STORM SEWER
---	XXX	CONTOUR
XXX.XX	XXX.XX	SPOT ELEVATIONS
---	XXX.XX/TC	BOTTOM CURB/TOP CURB
---	---	ENTRANCE ELEVATION
---	---	FENCE
---	---	PROPERTY/ROW LINE
---	---	EASEMENT
---	---	DRAINAGE DITCH/SWALE
---	---	SELECT BACKFILL
○	○	GAS VALVE
○	○	UTILITY POLE
○	○	GUY WIRE
○	○	LIGHT
○	○	ELECTRIC MANHOLE
○	○	SANITARY MANHOLE
○	○	CLEANOUT
○	○	STORM MANHOLE
○	○	CATCHBASIN (ROADWAY)
○	○	REAR YARD DRAIN (INLET)
○	○	HYDRANT
○	○	SIGN
○	○	GRADE TO DRAIN
○	○	WATER VALVE
○	○	TEST PIT
○	○	TO BE REMOVED
○	○	BENCH MARK
○	○	DECIDUOUS TREE
○	○	CONIFEROUS TREE
○	○	SHRUB
○	○	IRON PIN FOUND
○	○	IRON PIPE FOUND
○	○	CALCULATED POINT
○	○	SILT FENCE/FIBER ROLL
○	○	CONSTRUCTION ENTRANCE
○	○	PERMANENT VEGETATION
○	○	TEMPORARY VEGETATION
○	○	INLET PROTECTION
○	○	CHECK DAM



01. PROPOSED EROSION AND SEDIMENT CONTROL PLAN

1" = 30'-0"

NEW 25-BED WOMEN'S RESIDENTIAL TREATMENT FACILITY

Cayuga
ADDICTION RECOVERY SERVICES

6621 NY ROUTE 227, TRUMANSBURG, NY
OASAS PROJECT NUMBER: 344470 7410

4/11/2023 SITE PLAN SUBMITTAL
1/17/2023 BIA SUBMITTAL

NO.	DATE	REMARKS

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PROJECT NO. 18.03
DATE 03/07/2023
SCALE AS NOTED
DRAWN BY ADG
DRAWING TITLE

SITE EROSION AND SEDIMENT CONTROL PLAN

DRAWING NO. SP-103

SITE PLAN SUBMISSION - 001

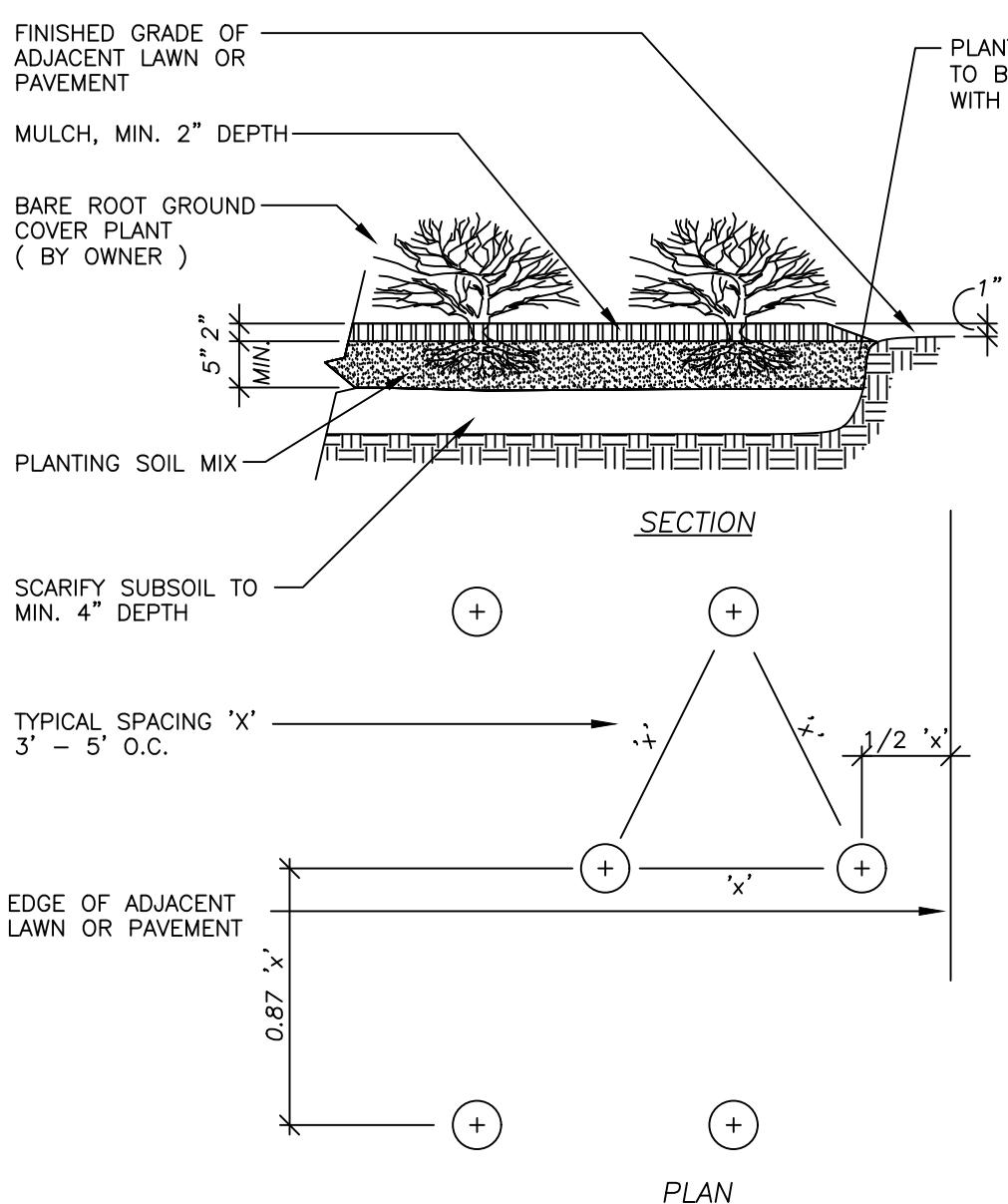
LEGEND (NTS)

EXISTING	PROPOSED	
---	—	GAS
---	—	UNDERGROUND ELEC./TELE./CABLE
---	—	OVERHEAD ELEC./TELE
---	—	WATER (FUTURE)
---	—	SANITARY SEWER (FUTURE)
---	—	SANITARY FORCE MAIN
---	—	STORM SEWER
---	---	CONTOUR
XXX.XX	XXX.XX	SPOT ELEVATIONS
XXX.XX	XXX.XX/TC	SPOT ELEVATIONS BOTTOM CURB/TOP CURB
E.E=100.0		ENTRANCE ELEVATION
---	---	FENCE
---	---	PROPERTY/ROW LINE
---	---	EASEMENT
---	---	DRAINAGE DITCH/SWALE
---	---	SELECT BACKFILL
	○	GAS VALVE
	○	UTILITY POLE
	○	GUY WIRE
	○	LIGHT
	○	ELECTRIC MANHOLE
	○	SANITARY MANHOLE
	○	CLEANOUT
	○	STORM MANHOLE
	○	CATCHBASIN (ROADWAY)
	○	REAR YARD DRAIN (INLET)
	○	HYDRANT
	○	SIGN
	○	GRADE TO DRAIN
	○	WATER VALVE
	○	TEST PIT
	○	TO BE REMOVED
	○	BENCH MARK
	○	DECIDUOUS TREE
	○	CONIFEROUS TREE
	○	SHRUB
	○	IRON PIN FOUND
	○	IRON PIPE FOUND
	○	CALCULATED POINT

LANDSCAPING LEGEND

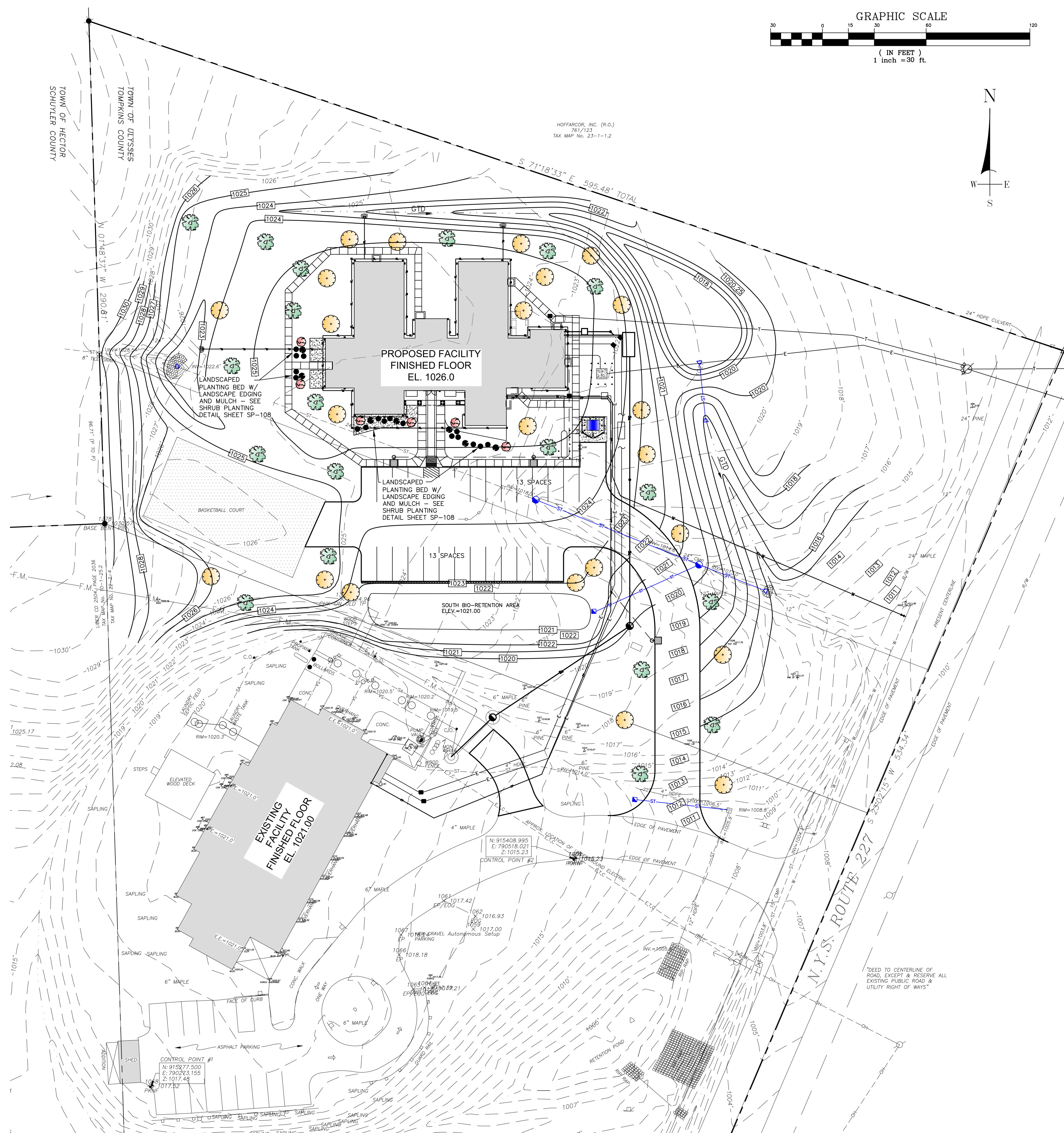
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENT
23	○	CERCIS CANADENSIS	EASTERN REDBUD	3" CALIPER	B&B
25	○	QUERCUS PALUSTRIS	PIN OAK	3" CALIPER	B&B
6	○	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	30 IN.	
8	○	KALMA ANGUSTIFOLIA	DWARF LAUREL	#1 POT	
20	○	GAULTHERIA PROCUMBENS	EASTERN TEABERRY	#1 POT	

- NOTES:
- SEE SHEET SP-108 'SITE PLAN LANDSCAPING AND EROSION CONTROL DETAILS' FOR SHRUB AND TREE PLANTING DETAILS AND SEED MIXTURE FOR PERMANENT VEGETATION (LAWNS AND SWALES). SEE SP-109 'SITE PLAN STORM WATER DETAILS' FOR BIO-RETENTION AREAS SAMPLE PLANTING PLANS AND SCHEDULES.
 - REFER TO 'PLANTING BED DETAIL' BELOW FOR LANDSCAPED PLANTING BED AREAS.



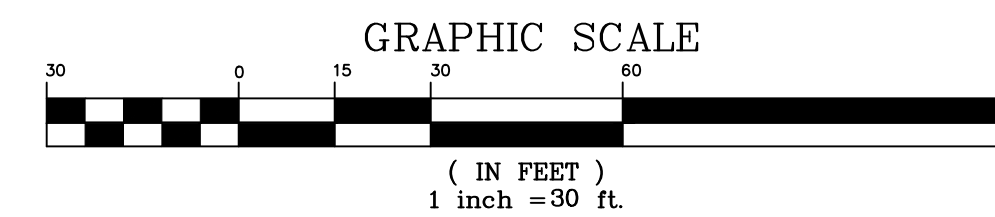
THE MULCH LAYER SHOULD BE STANDARD LANDSCAPE STYLE, SINGLE OR DOUBLE SHREDDED HARDWOOD MULCH OR CHIPS. THE MULCH LAYER SHOULD BE WELL AGED (STOCKPILED OR STORED FOR AT LEAST 12 MONTHS), UNIFORM IN COLOR, AND FREE OF OTHER MATERIALS, SUCH AS WEED SEEDS, SOIL, ROOTS, ETC. THE MULCH SHOULD BE APPLIED TO A MAXIMUM DEPTH OF THREE INCHES. GRASS CLIPPINGS SHOULD NOT BE USED AS A MULCH MATERIAL.

PLANTING BED DETAIL
NTS



01. SITE LANDSCAPING PLAN

1" = 30'-0"



NEW 25-BED WOMEN'S RESIDENTIAL TREATMENT FACILITY
Cayuga
ADDICTION RECOVERY SERVICES

4/11/2023 SITE PLAN SUBMITTAL
1/17/2023 BIA SUBMITTAL

NO.	DATE	REMARKS

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PROJECT NO. 18.03

DATE 03/22/2023

SCALE AS NOTED

DRAWN BY ADG

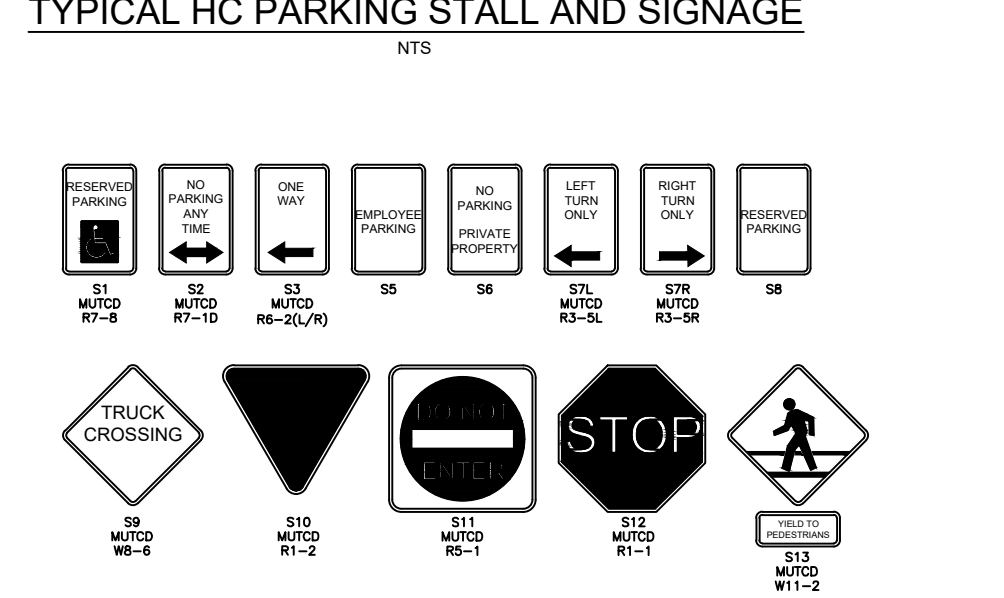
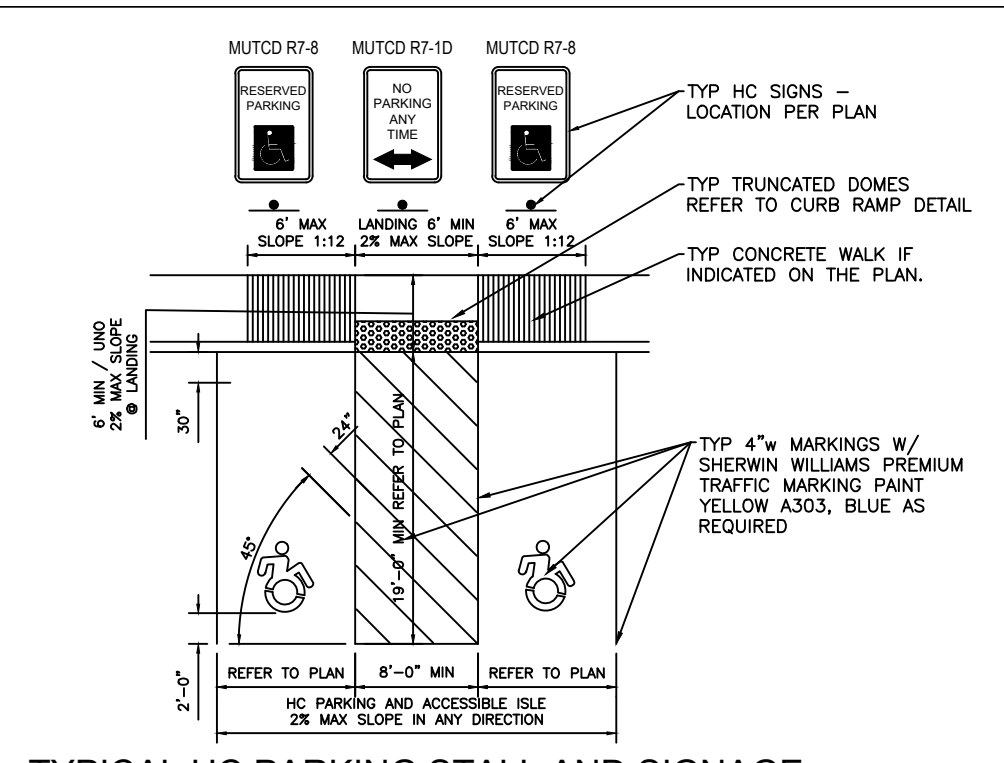
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SITE LANDSCAPING PLAN

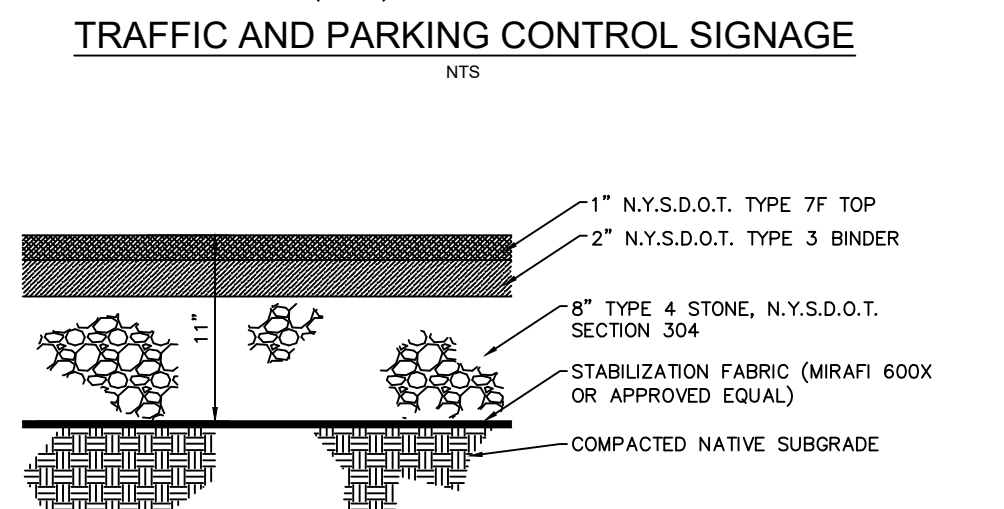
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SITE PLAN SUBMISSION - 001



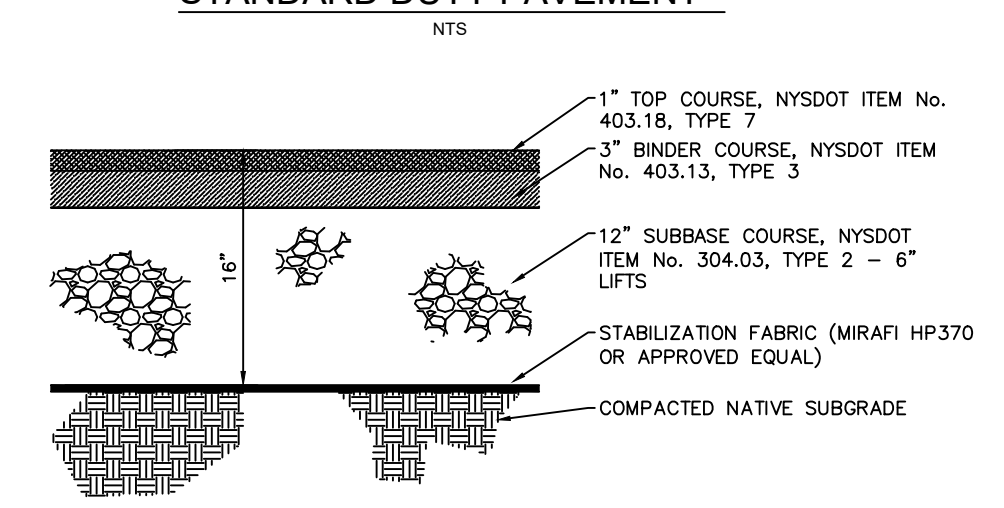
NOTES:
1. ALL SIGNS TO BE 18 GA. BONDERIZED STEEL. COLOR SELECTION FROM MFR.'S STANDARDS.
2. TOP OF ALL SIGNS TO BE 6'-0" ABOVE GRADE EXCEPT S1 & S2.
3. ALL SIGN POST TO BE MFR.'S STANDARD GALV. STEEL U-CHANNEL POST. EMBEDDED MIN. 2'-0" BELOW GRADE EXCEPT S1 & S2.
4. AVAILABLE MANUFACTURERS - SUBJECT TO COMPLIANCE WITH REQUIREMENTS, MFR.'S OFFERING PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: BEST MANUFACTURING SYSTEMS, & STONY IDENTIFICATION PRODUCTS
5. ALL TRAFFIC CONTROL DEVICES WILL BE INSTALLED IN COMPLIANCE WITH MANUAL ON UNIFORM CONTROL DEVICES (MUTCD).



PROOF ROLL THE EXPOSED SUBGRADE WITH A SMOOTH DRUM ROLLER HAVING AN EFFECTIVE WEIGHT FOR OF AT LEAST 600LBS/LI. ANY AREAS EXHIBITING WEAVING, YIELDING, RUTTING, OR BOLLING SHOULD BE REWORKED BY OVER EXCAVATING AND REPLACEMENT WITH STRUCTURAL FILL COMPACTED TO 95% MP

COMPACT FOUNDATION COURSE WITH A MINIMUM OF 5 PASSES OF A SMOOTH DRUM ROLLER HAVING AN EFFECTIVE WEIGHT OF AT LEAST 600LBS/LI. THE FINISHED SURFACE SHOULD BE UNIFORM AND DENSE AND COMPACTED TO 95% MP, WITH A MOISTURE RANGE OF 2% OF OPTIMUM CONTENT

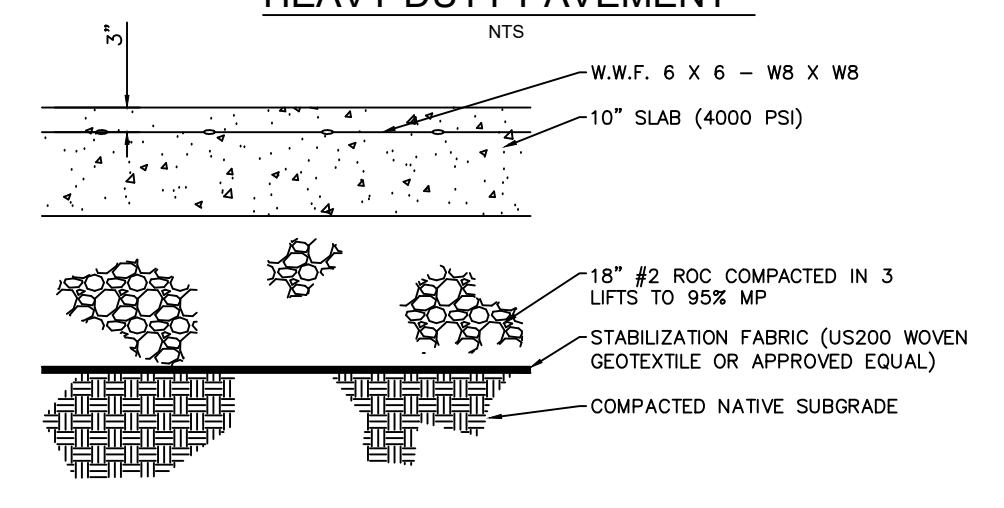
* OWNER/CONTRACTOR RESPONSIBLE FOR REVIEW OF GEOTECHNICAL REPORT AND ANY DEVIATION FROM RECOMMENDED PAVEMENT SECTION.



PROOF ROLL THE EXPOSED SUBGRADE WITH A SMOOTH DRUM ROLLER HAVING AN EFFECTIVE WEIGHT FOR OF AT LEAST 600LBS/LI. ANY AREAS EXHIBITING WEAVING, YIELDING, RUTTING, OR BOLLING SHOULD BE REWORKED BY OVER EXCAVATING AND REPLACEMENT WITH STRUCTURAL FILL COMPACTED TO 95% MP

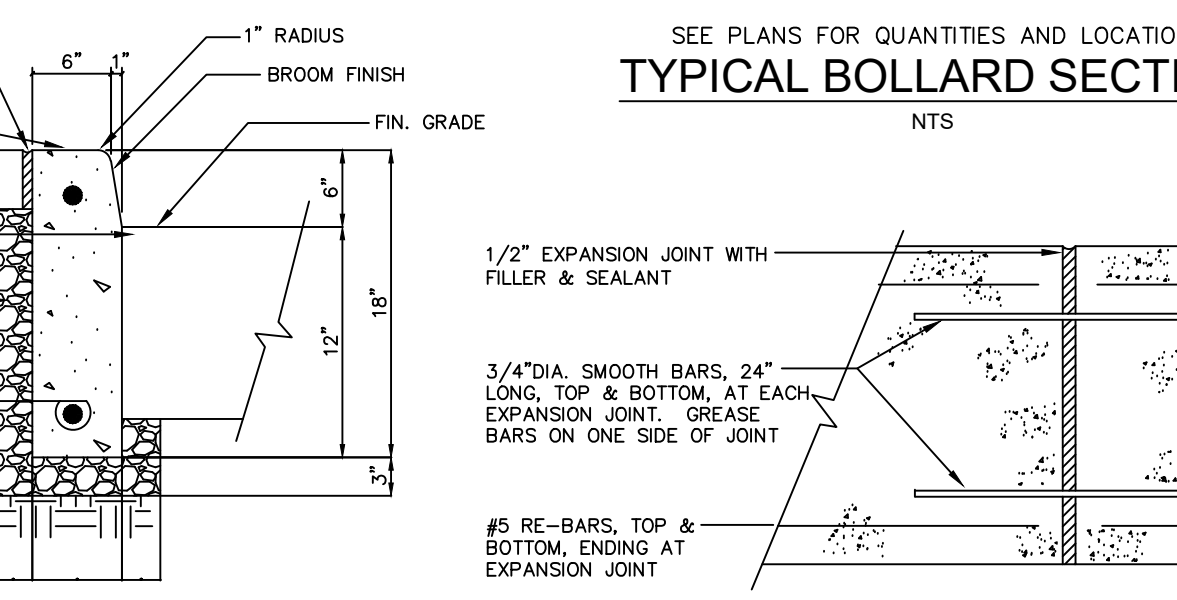
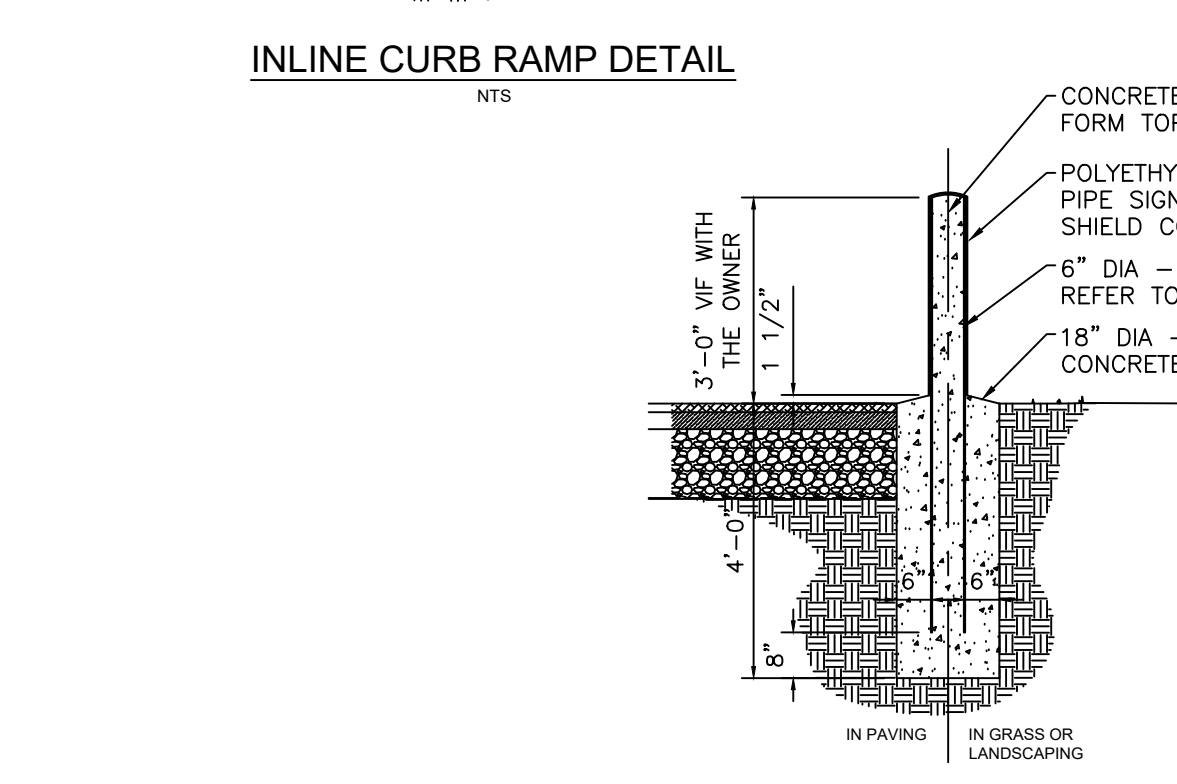
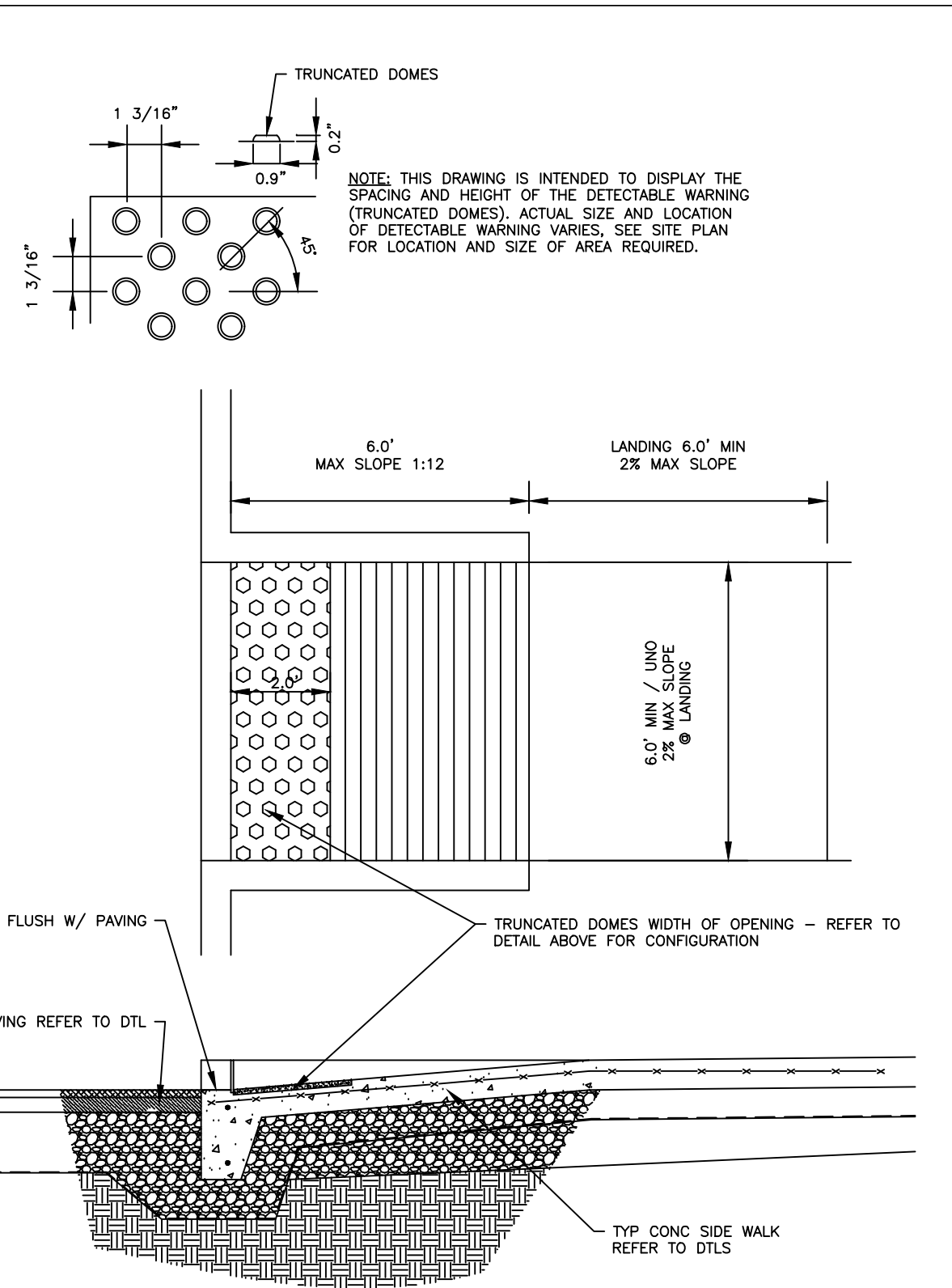
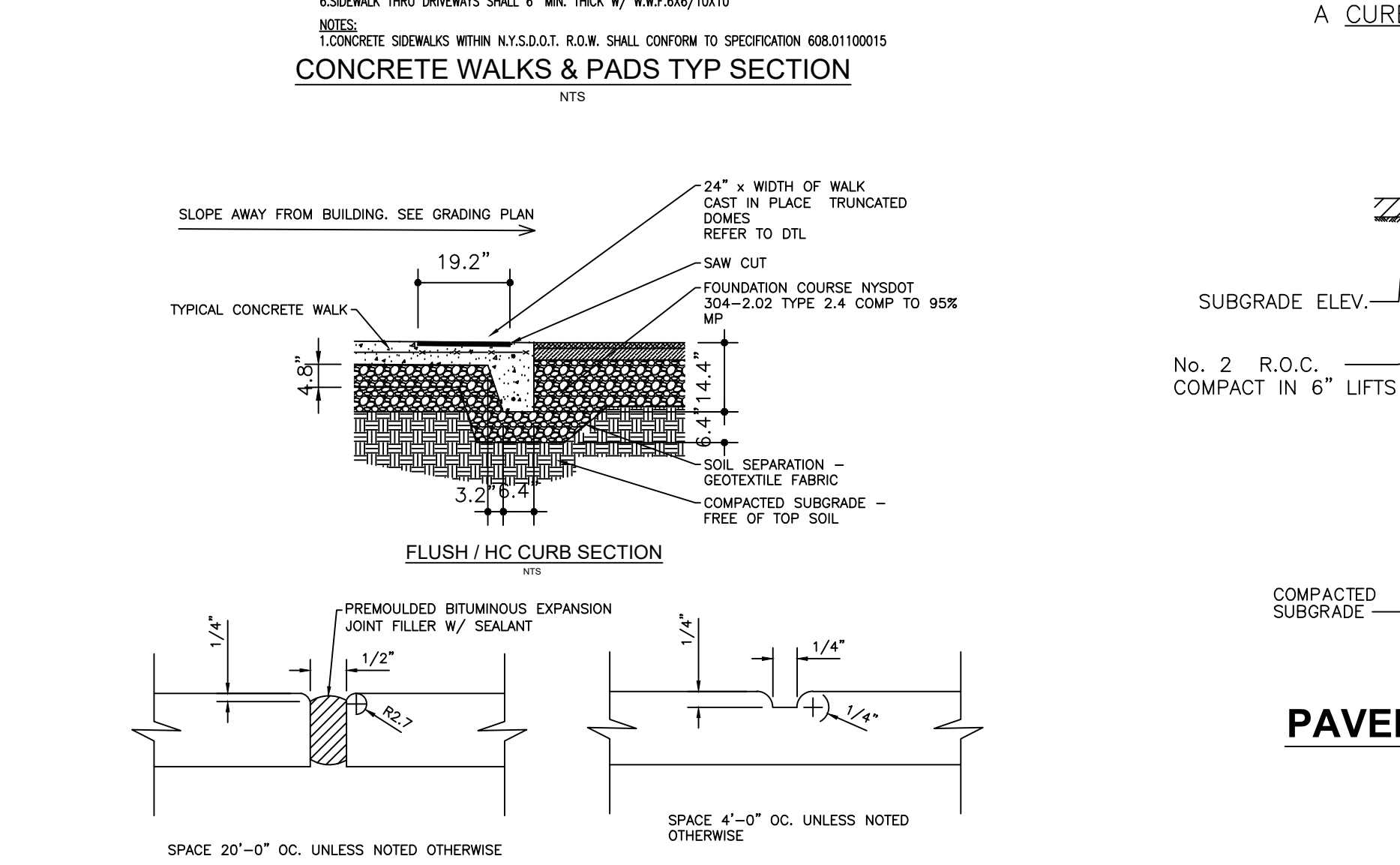
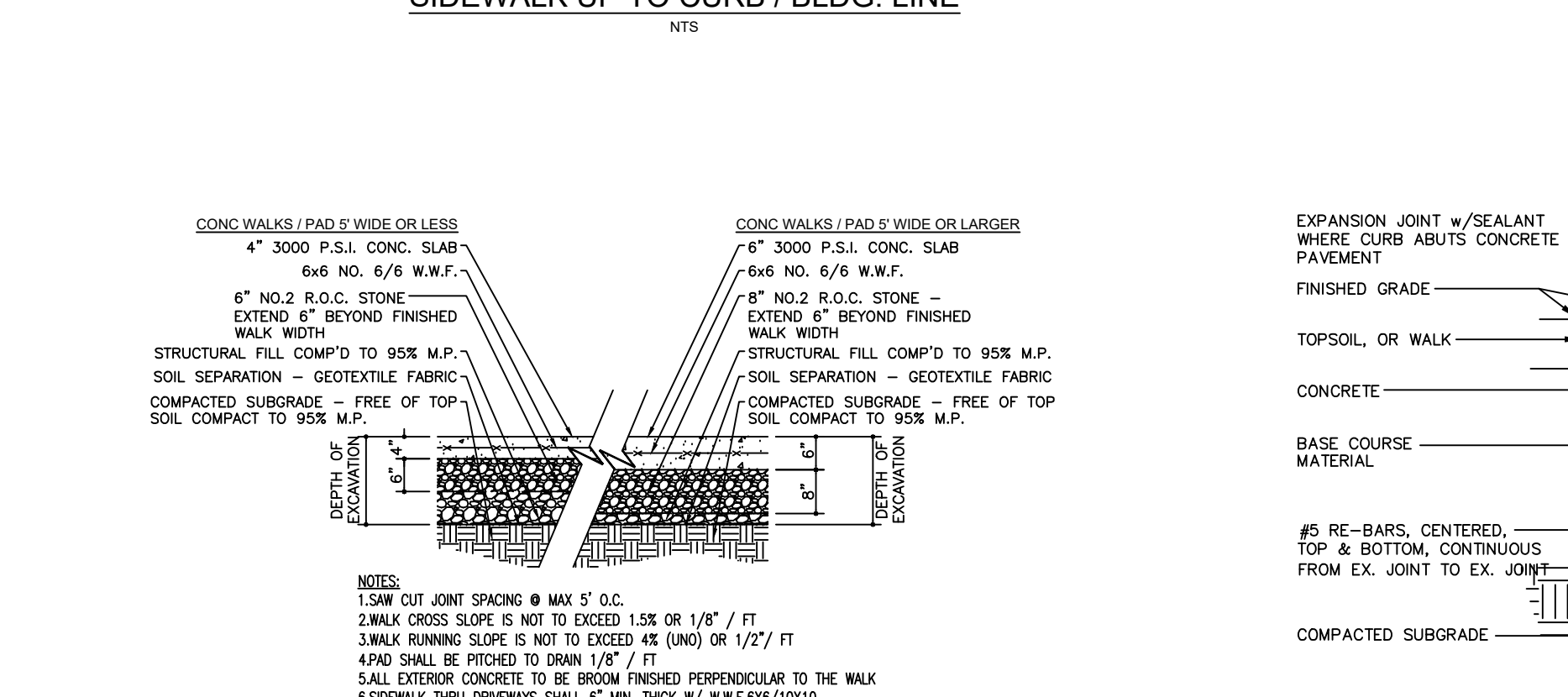
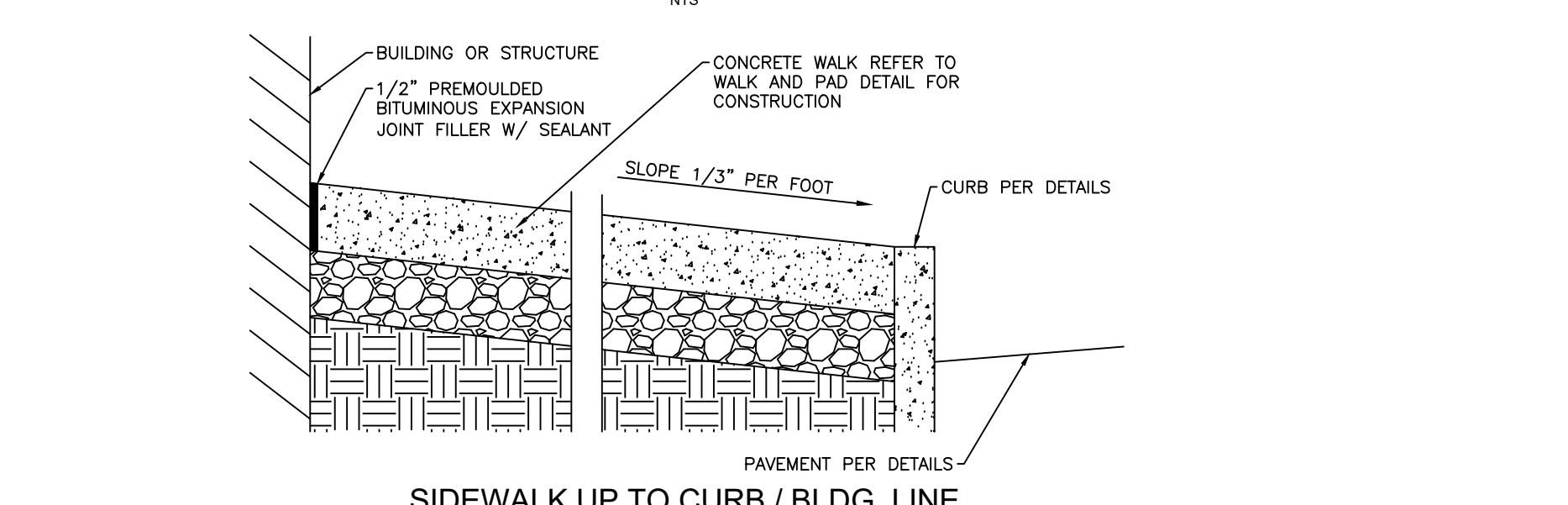
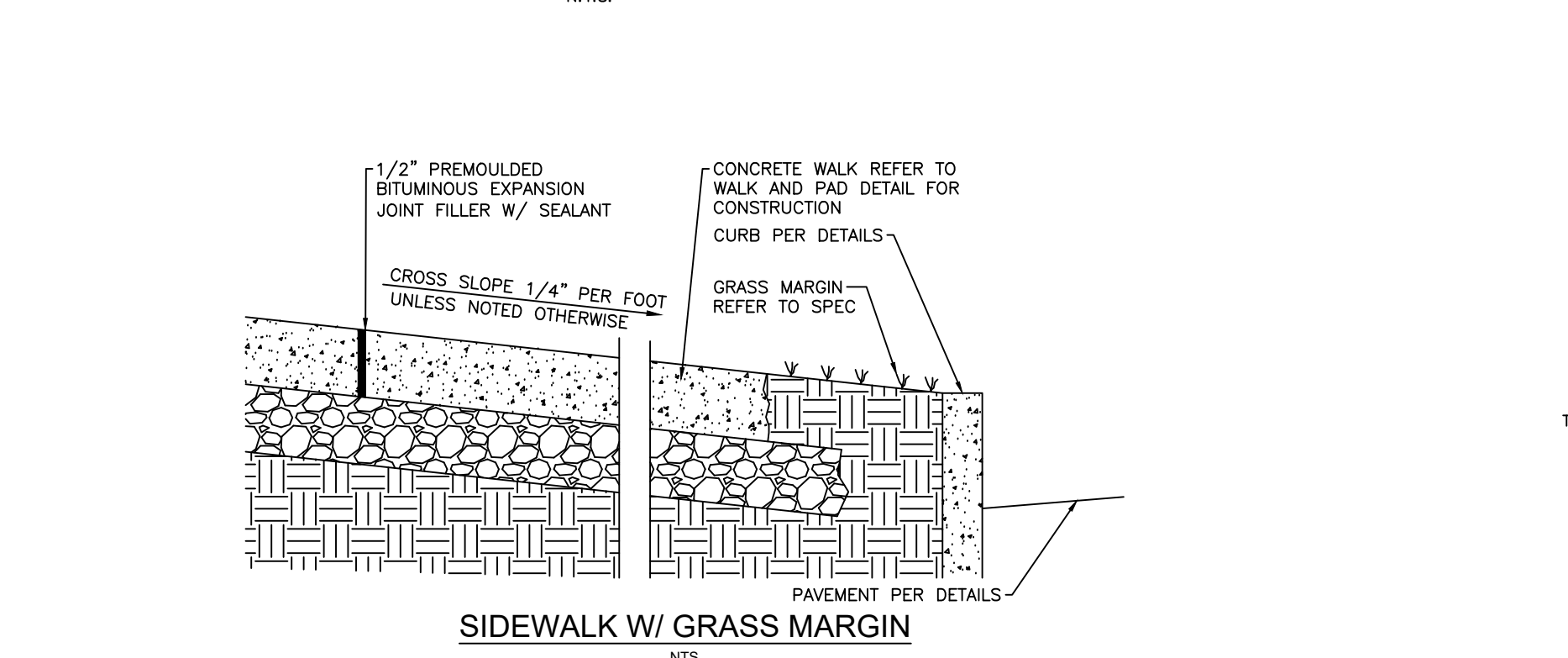
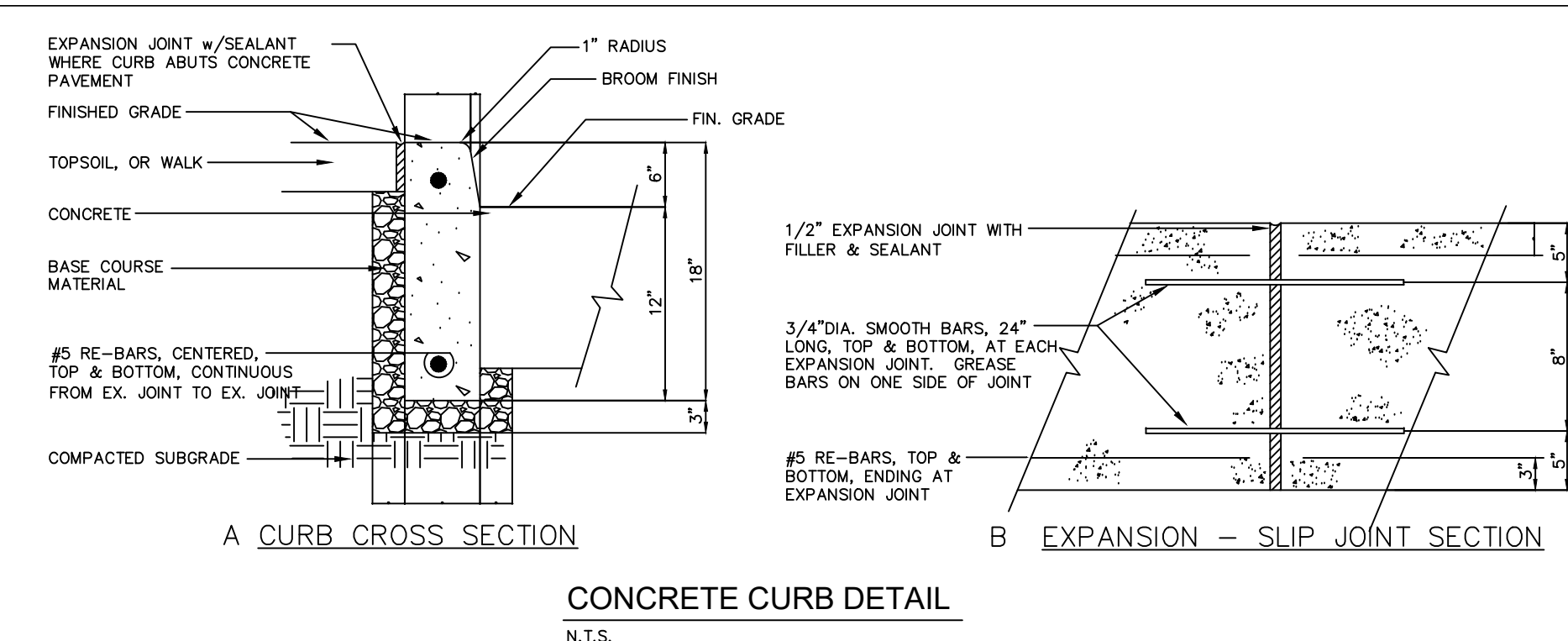
COMPACT FOUNDATION COURSE WITH A MINIMUM OF 5 PASSES OF A SMOOTH DRUM ROLLER HAVING AN EFFECTIVE WEIGHT OF AT LEAST 600LBS/LI. THE FINISHED SURFACE SHOULD BE UNIFORM AND DENSE AND COMPACTED TO 95% MP, WITH A MOISTURE RANGE OF 2% OF OPTIMUM CONTENT

* OWNER/CONTRACTOR RESPONSIBLE FOR REVIEW OF GEOTECHNICAL REPORT OR TEST PITS AND ANY DEVIATION FROM RECOMMENDED PAVEMENT SECTION.



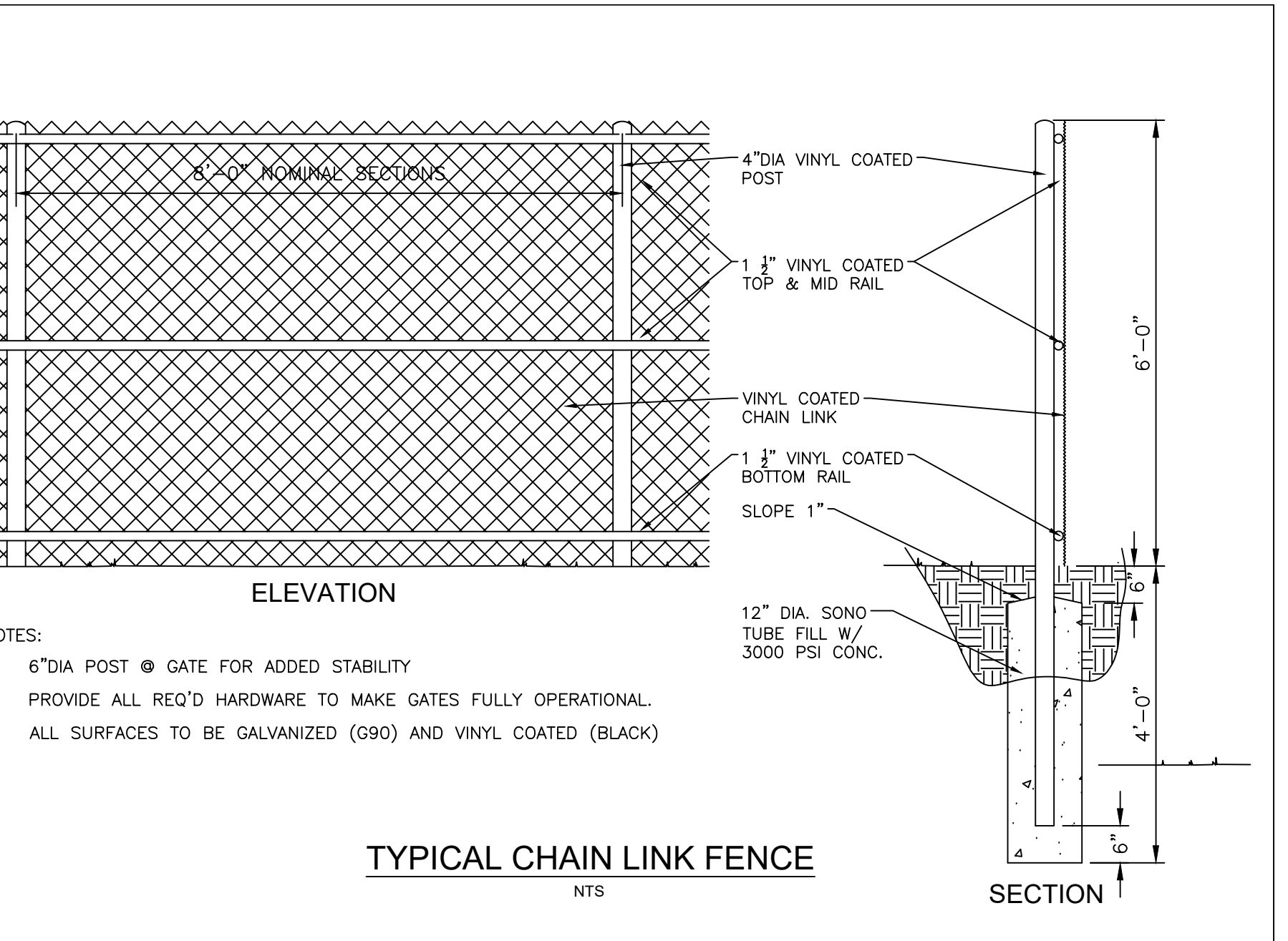
PROOF ROLL THE EXPOSED SUBGRADE WITH A SMOOTH DRUM ROLLER HAVING AN EFFECTIVE WEIGHT FOR OF AT LEAST 600LBS/LI. ANY AREAS EXHIBITING WEAVING, YIELDING, RUTTING, OR BOLLING SHOULD BE REWORKED BY OVER EXCAVATING AND REPLACEMENT WITH STRUCTURAL FILL COMPACTED TO 95% MP

COMPACT FOUNDATION COURSE WITH A MINIMUM OF 5 PASSES OF A SMOOTH DRUM ROLLER HAVING AN EFFECTIVE WEIGHT OF AT LEAST 600LBS/LI. THE FINISHED SURFACE SHOULD BE UNIFORM AND DENSE AND COMPACTED TO 95% MP, WITH A MOISTURE RANGE OF 2% OF OPTIMUM CONTENT



NOTES:
1. SAW CUT ALL EDGES OF EXISTING PAVEMENT AND BASE TO FULL DEPTH IN ONE PASS.
2. GENERAL EXCAVATION, ALL SPOIL MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
3. PLACE A MIN. OF 6" OF #1 STONE SCOOPED TO RECEIVE PIPE WITH "NO BEARING ON BELL".

STORM SEWER TRENCH DETAILS
NTS



NOTES:
1. 6" DIA POST @ GATE FOR ADDED STABILITY
2. PROVIDE ALL REQ'D HARDWARE TO MAKE GATES FULLY OPERATIONAL.
3. ALL SURFACES TO BE GALVANIZED (G90) AND VINYL COATED (BLACK)

NEW 25-BED WOMEN'S RESIDENTIAL TREATMENT FACILITY
Cayuga
ADDITION RECOVERY SERVICES

4/1/2023 SITE PLAN SUBMITTAL
1/17/2023 BIA SUBMITTAL

NO. DATE REMARKS

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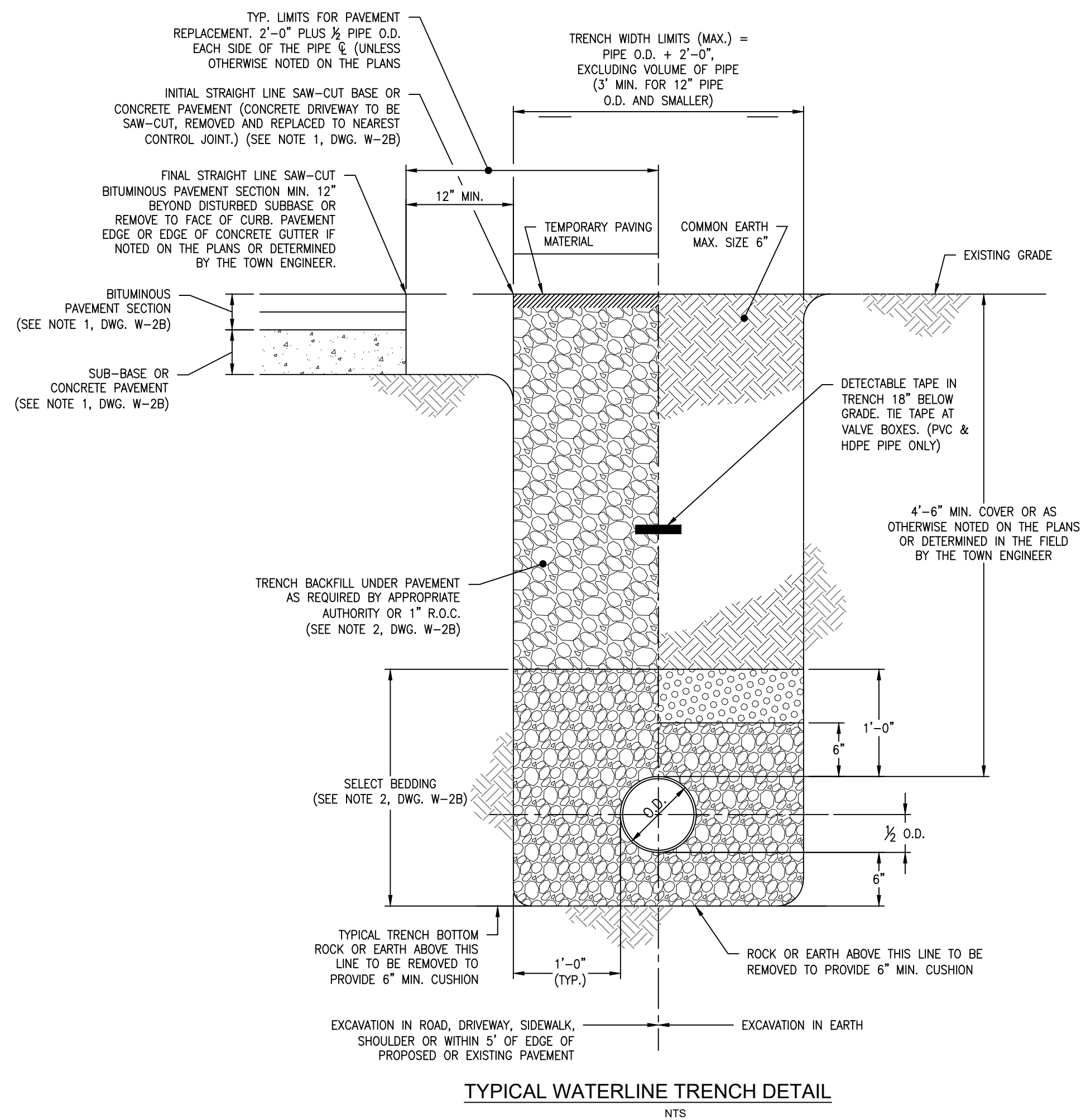
(716) 662-2200
6395 WEST QUAKER STREET
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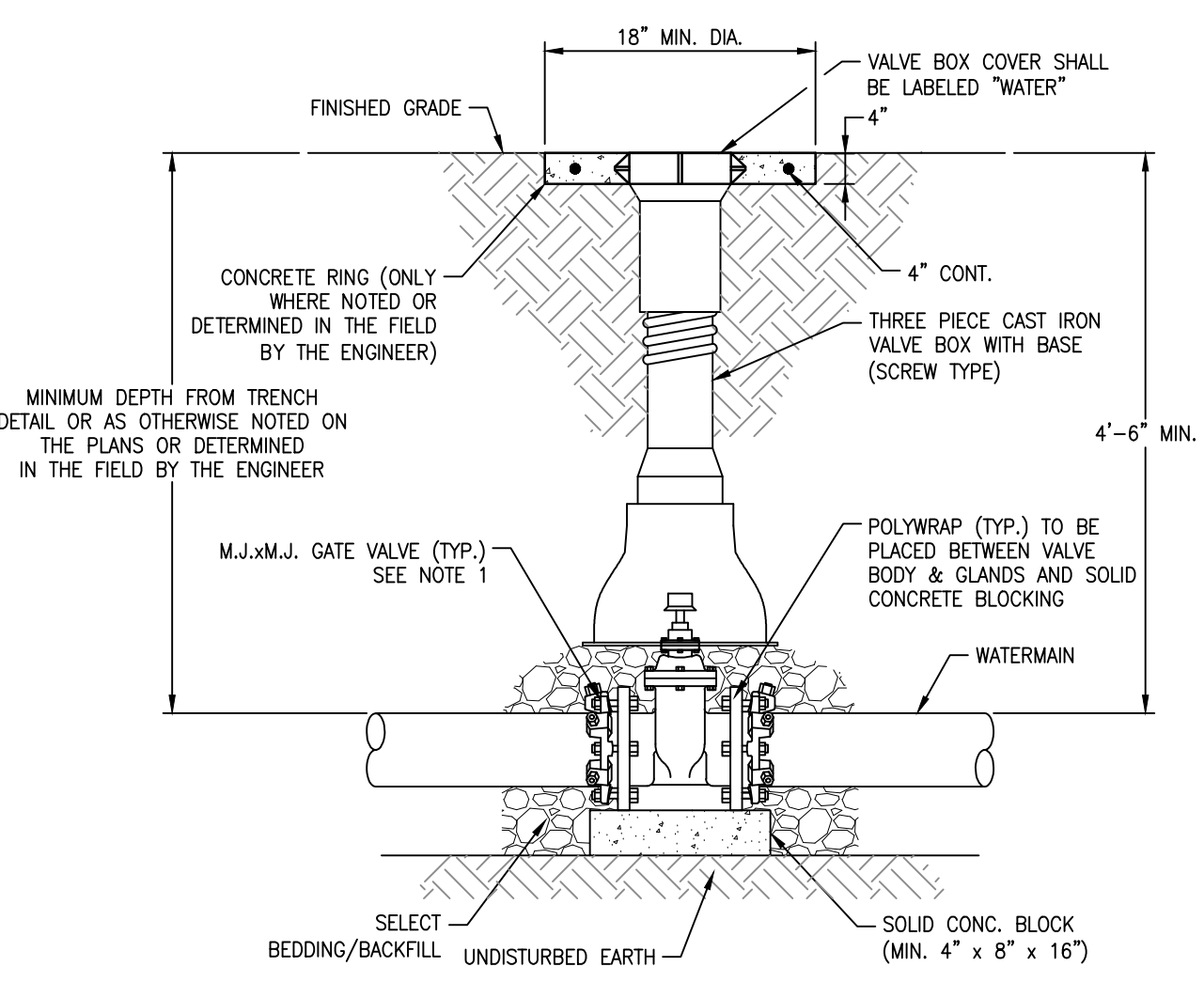
DETAILS PAVEMENT

DRAWING NO. SP-105

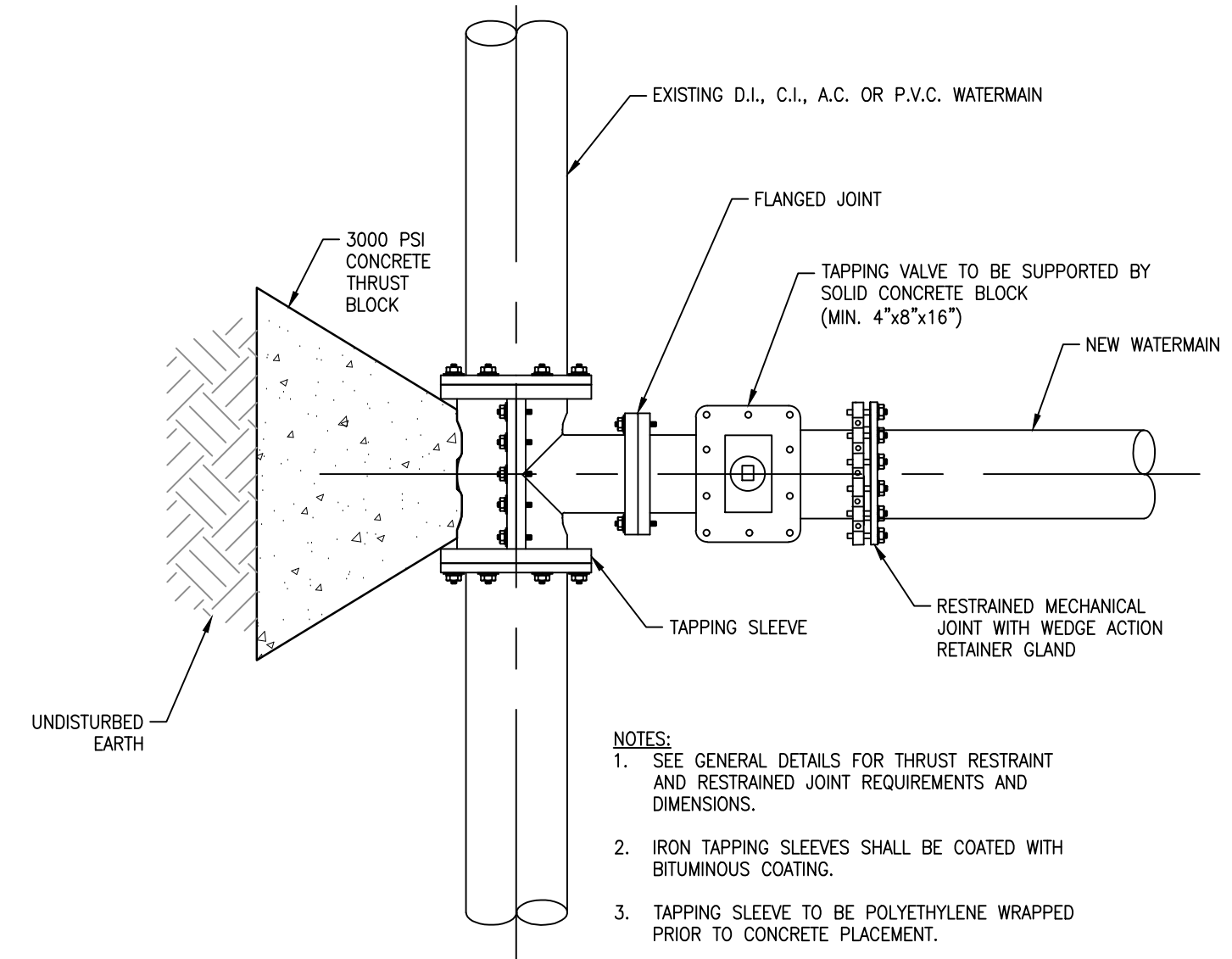
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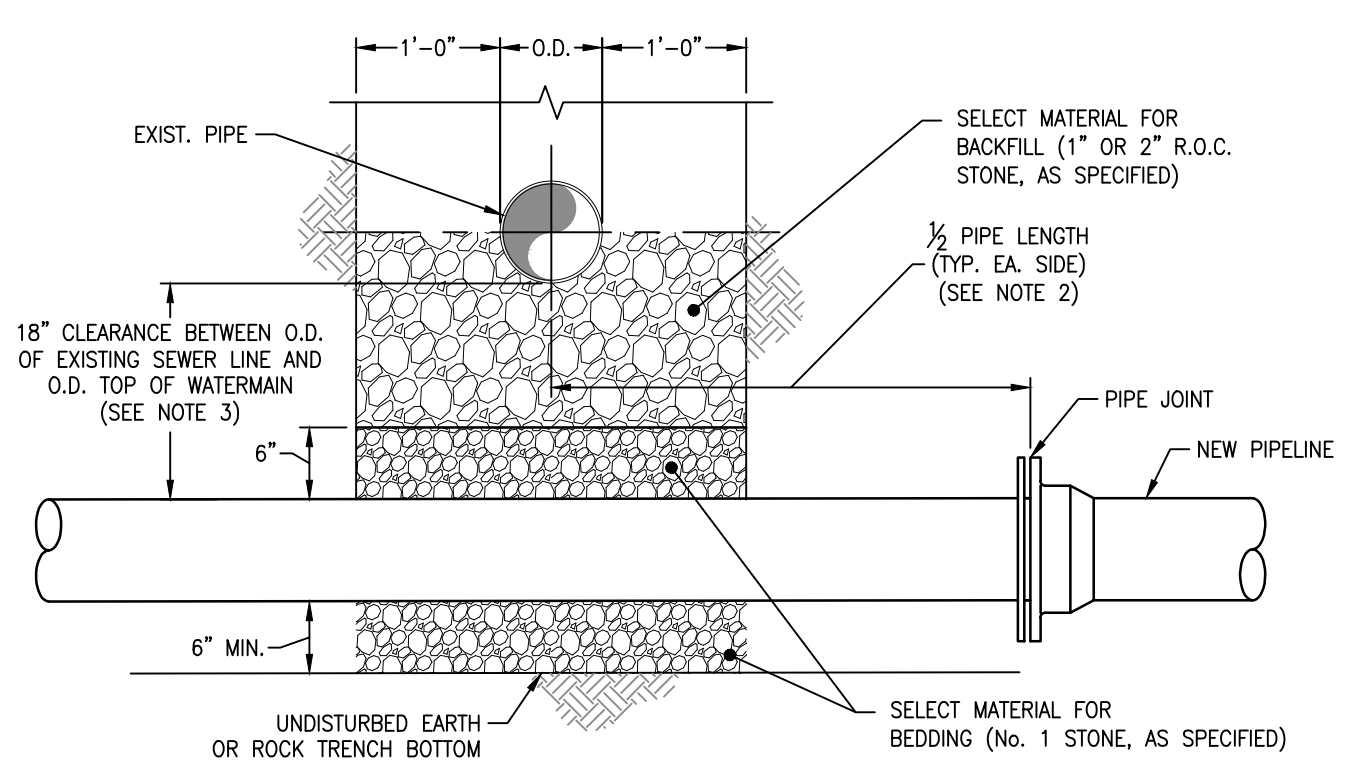
TYPICAL WATERLINE TRENCH DETAIL
NTS



TYPICAL GATE VALVE SETTING DETAIL
NTS



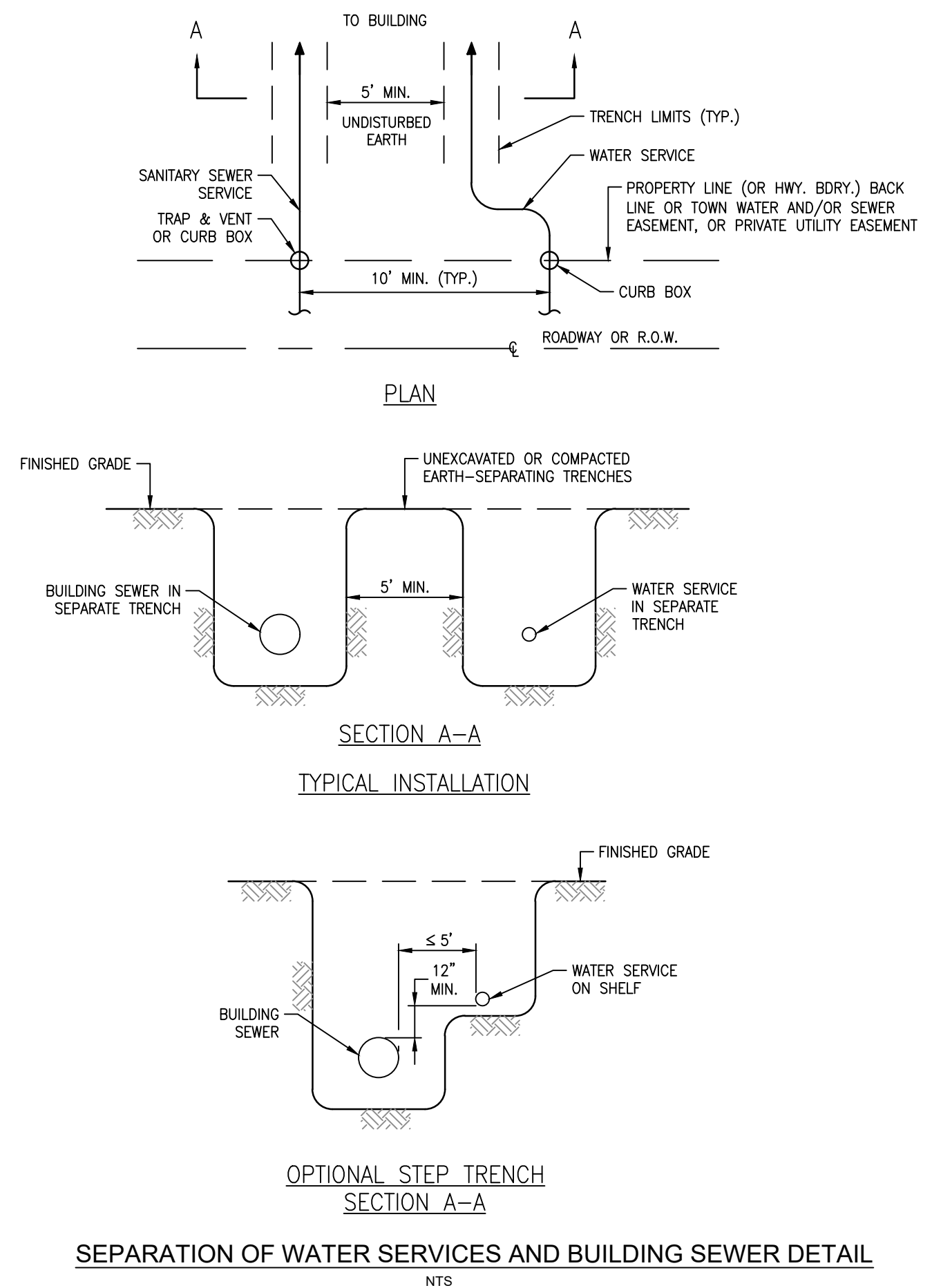
TYPICAL TAPPING SLEEVE & VALVE DETAIL
NTS



TYPICAL PIPE CROSSING DETAIL
NTS

WATERLINE CONSTRUCTION NOTES:

- ALL WATERMAIN PIPING SHALL BE PVC (DR-18, CLASS 150, AWWA C900) OR DUCTILE IRON (CLASS 52, DOUBLE THICKNESS CEMENT LINING AND BITUMINOUS EXTERIOR COATING), AS SHOWN OR NOTED ON THE PLANS.
- ALL WATERMAIN CARRIER PIPING THROUGH CASING PIPES SHALL BE DUCTILE IRON (CLASS 52, DOUBLE THICKNESS CEMENT LINING AND BITUMINOUS EXTERIOR COATING OR PVC. (DR-18 WITH JOINT HARNESSSES)
- UNLESS OTHERWISE NOTED ON THE DRAWINGS OR DETERMINED BY THE TOWN ENGINEER IN THE FIELD, MINIMUM PIPE COVER SHALL BE 4'-6" FOR WATER MAINS AND WATER SERVICES.
- UNLESS OTHERWISE NOTED ON THE PLANS OR AS DETERMINED IN THE FIELD BY THE TOWN ENGINEER, ALL WATER SERVICES SHALL BE 1" DIAMETER. THE ACTUAL NUMBER AND LOCATIONS OF WATER SERVICES SHALL BE DETERMINED AT THE TIME OF CONSTRUCTION.
- NO 90 DEGREE BENDS SHALL BE INSTALLED IN THE WATERMAIN UNLESS SHOWN ON THE PLANS OR APPROVED BY THE TOWN ENGINEER.
- THRUST RESTRAINTS FOR WATER MAIN PIPING SHALL BE INSTALLED AT ALL CHANGES IN DIRECTION, CHANGES IN SIZE, DEAD ENDS OR OTHER LOCATIONS WHERE SHOWN OR NOTED ON THE DESIGN PLANS OR AS DETERMINED IN THE FIELD BY THE TOWN ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION BETWEEN THE O.D. OF WATER MAINS AND THE O.D. OF SANITARY OR STORM SEWER PIPING. THE CONTRACTOR SHALL EXCAVATE IN ADVANCE OF THE WORK TO DETERMINE REQUIRED CHANGES IN GRADE NECESSARY TO INSTALL THE WATER MAIN. REFER TO THE STANDARD DETAILS FOR WATER MAIN INSTALLATION WHERE THE REQUIRED SEPARATIONS CAN NOT BE MAINTAINED.
- ALL NEW WATERLINE VALVES, HYDRANTS, SAMPLING POINTS AND OTHER APPURTENANCES ARE TO BE LOCATED WITHIN THE HIGHWAY RIGHTS-OF-WAY OR PERMANENT EASEMENTS.
- ALL HYDRANTS TO BE PLACED AT 1 FT. INSIDE HIGHWAY RIGHT-OF-WAY LINE, PROPERTY LINE, OR BACKLINE OF PERMANENT EASEMENT WITH "STEAMER" NOZZLE FACING THE ROADWAY UNLESS OTHERWISE NOTED ON THE PLANS OR DETERMINED IN THE FIELD BY THE TOWN ENGINEER. (REFER TO HYDRANT SETTING DETAILS)
- ONLY ONE CONNECTION FOR A WATER SOURCE MAY BE MADE TO ANY EXISTING WATER MAIN PRIOR TO DISINFECTION AND HEALTH DEPARTMENT APPROVAL OF COMPLETED WORKS.
- BACTERIOLOGICAL SAMPLING POINTS ARE TO BE INSTALLED AT APPROXIMATELY 1,200 FT. INTERVALS AND AT EACH END OF ALL WATERLINE SECTIONS AS SHOWN ON THE PLANS OR AS DETERMINED IN THE FIELD BY THE TOWN ENGINEER.
- ALL WATER MAINS SHALL BE TESTED AND DISINFECTED ACCORDING TO THE SPECIFICATIONS AND THE APPROVAL OF THE TOWN ENGINEER, AND THE HEALTH DEPARTMENT.
- ALL WATER FOR TESTING AND FLUSHING MUST BE PAID FOR BY THE DEVELOPER AND/OR CONTRACTOR. CONTRACTOR TO COORDINATE WITH THE OWNER FOR REQUIRED METERING EQUIPMENT.
- THE CONTRACTOR IS RESPONSIBLE TO CONTACT U.F.P.O./"DIG SAFELY NEW YORK" A MINIMUM OF 48 HOURS PRIOR TO DIGGING ANY TEST PITS OR TRENCH EXCAVATION WITHIN THE EXISTING HIGHWAY RIGHTS-OF-WAY.
- THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE TOWN ENGINEER (3) WORKING DAYS IN ADVANCE AND AFFECTED CUSTOMERS 48 HOURS IN ADVANCE, OF ANY PROPOSED SHUT-DOWN OF EXISTING WATERMANS. THE CONTRACTOR SHALL HAVE ALL LABOR, EQUIPMENT AND MATERIALS ON-SITE AND READY TO USE PRIOR TO BEGINNING ANY SHUT-DOWNS OR REMOVING ANY EXISTING FACILITIES.
- EACH SHUTDOWN OF EXISTING WATER MAINS SHALL BE LIMITED TO EIGHT CONSECUTIVE HOURS OR LESS.
- ONLY TOWN PERSONNEL SHALL OPERATE EXISTING WATER VALVES. THE CONTRACTOR IS ADVISED THAT WATERTIGHT CONDITIONS MIGHT NOT EXIST WHEN EXISTING VALVES ARE CLOSED. DUE TO THIS PROBLEM, SHUTDOWNS MIGHT NOT BE PROVIDED AT THE TIME REQUESTED OR EXPECTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY LOCATIONS, CONNECTIONS, SIZES AND MATERIALS OF ALL EXISTING WATER MAINLINE PRIOR TO MAKING CONNECTIONS.
- ALL EXISTING UTILITY PIPING, INCLUDING CULVERT PIPES, EXPOSED BY THIS WORK, MUST BE SUPPORTED, BEDDED AND BACKFILLED AS PER THE UTILITY OWNER REQUIREMENTS AND/OR THE "TYPICAL PIPE CROSSING" DETAIL.
- FULL DEPTH SELECT MATERIAL FOR BACKFILL WILL BE REQUIRED FOR ALL OPEN CUT CROSSINGS OF WALKWAYS, PAVEMENT, SHOULDERS AND DRIVEWAYS UNLESS OTHERWISE NOTED ON PLANS OR DETERMINED IN THE FIELD BY THE TOWN ENGINEER.



SEPARATION OF WATER SERVICES AND BUILDING SEWER DETAIL
NTS

NEW 25-BED WOMEN'S RESIDENTIAL TREATMENT FACILITY
Cayuga
 ADDICTION RECOVERY SERVICES

NO.	DATE	REMARKS
1	4/11/2023	SITE PLAN SUBMITTAL
2	11/20/2023	BIA SUBMITTAL

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PROJECT NO.	18.03
DATE	03/07/2023
SCALE	AS NOTED
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DRAWING TITLE	

DETAILS
 WATER

DRAWING NO.
 SP-106

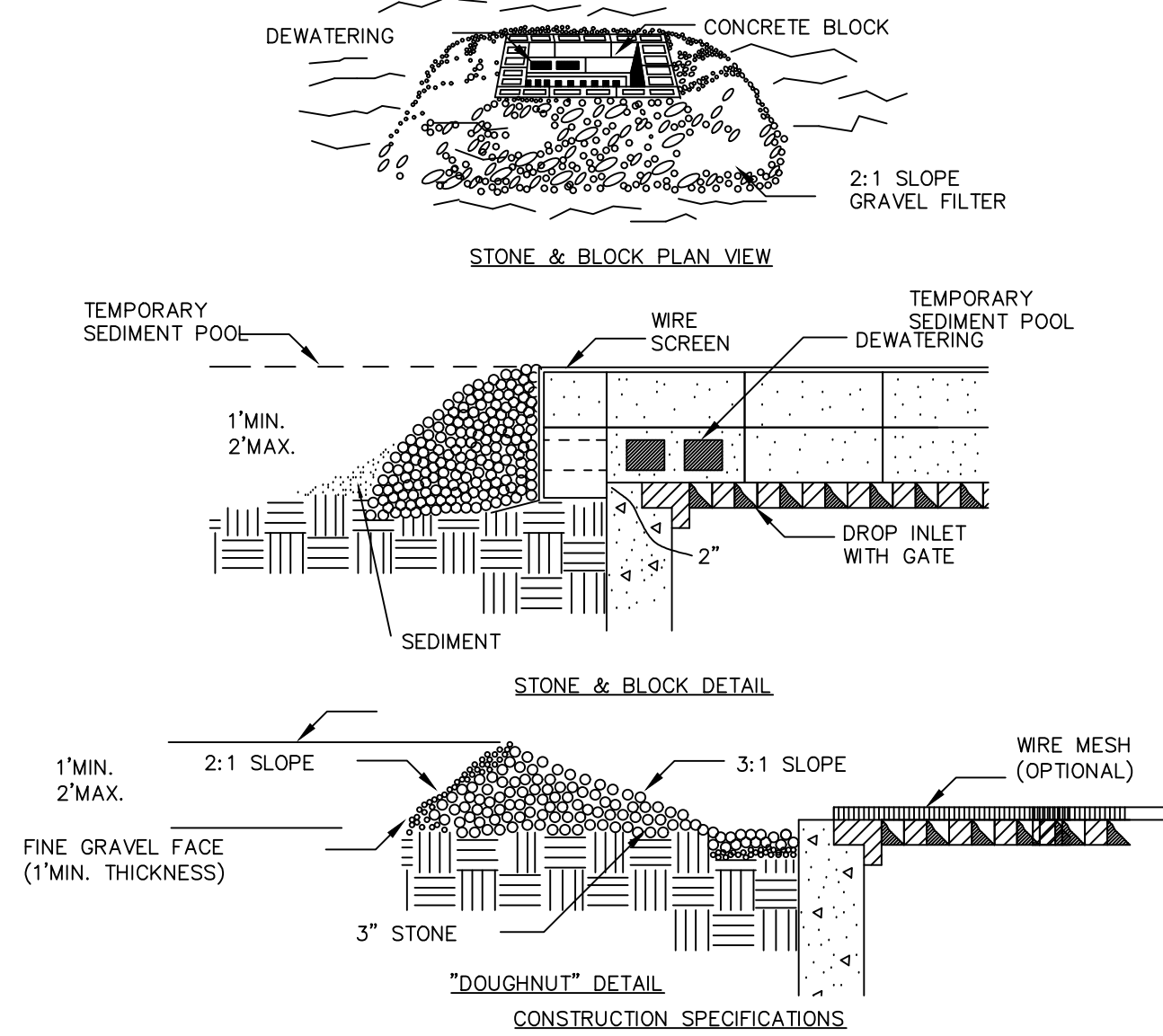
SITE PLAN SUBMISSION - 001

EROSION CONTROL NOTES

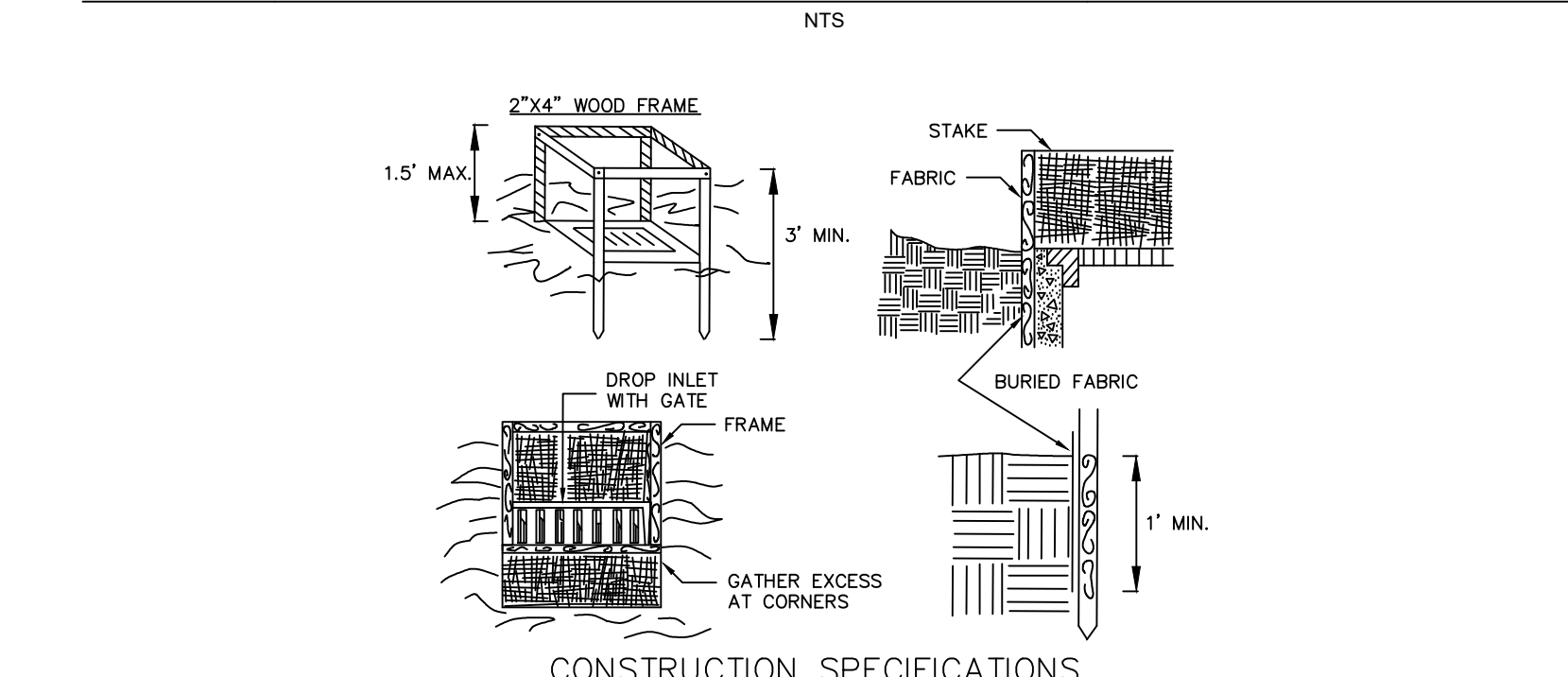
- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE EROSION CONTROL DETAILS. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE TO MAINTAIN UNTIL CONTRIBUTING DRAINAGE AREAS AREA STABILIZED.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 6 INCHES IN THICKNESS.
- EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOO, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.

SEED MIXTURE FOR PERMANENT VEGETATION (LAWN AREAS)

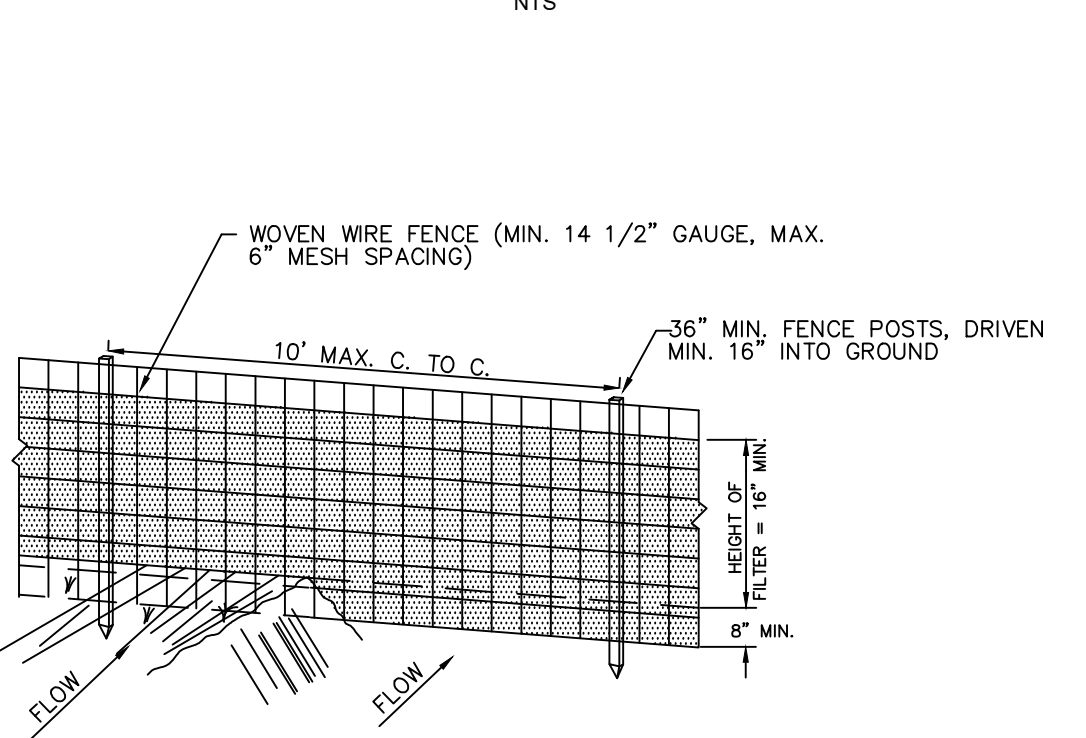
MIXTURE	RATE PER 1,000 SQ.FT. (LBS.)
KENTUCKY BLUEGRASS	0.60
CREeping RED FESCUE	0.50
PERENNIAL RYEGRASS	0.20



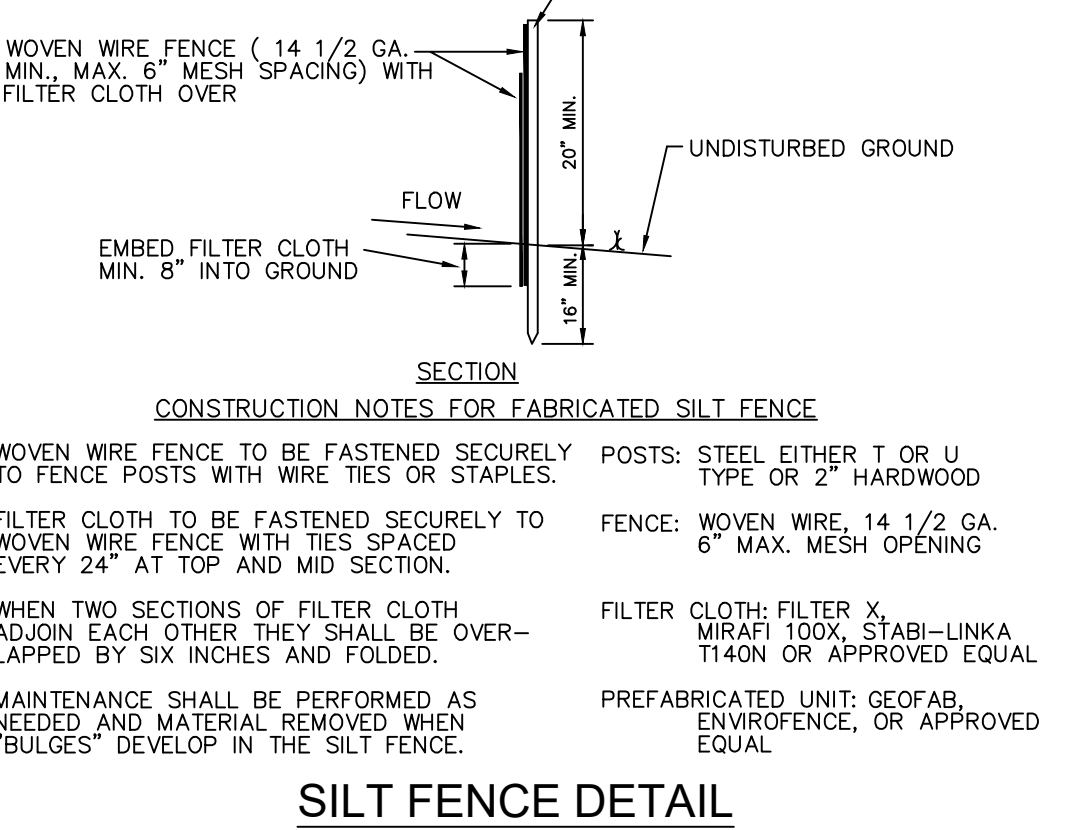
TYPICAL ABOVE GRADE CONCRETE WASHOUT INSTALLATION DETAIL



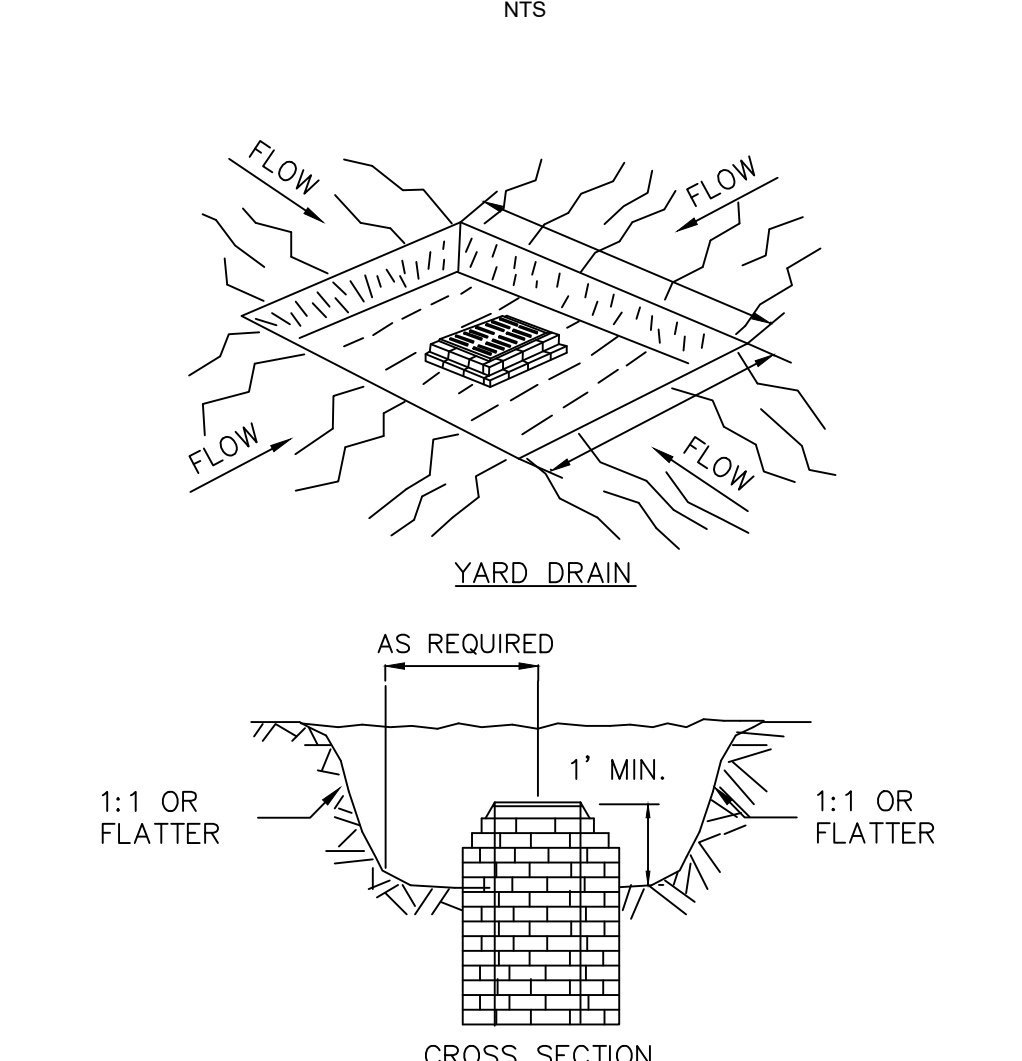
STABILIZED CONSTRUCTION ENTRANCE DETAIL



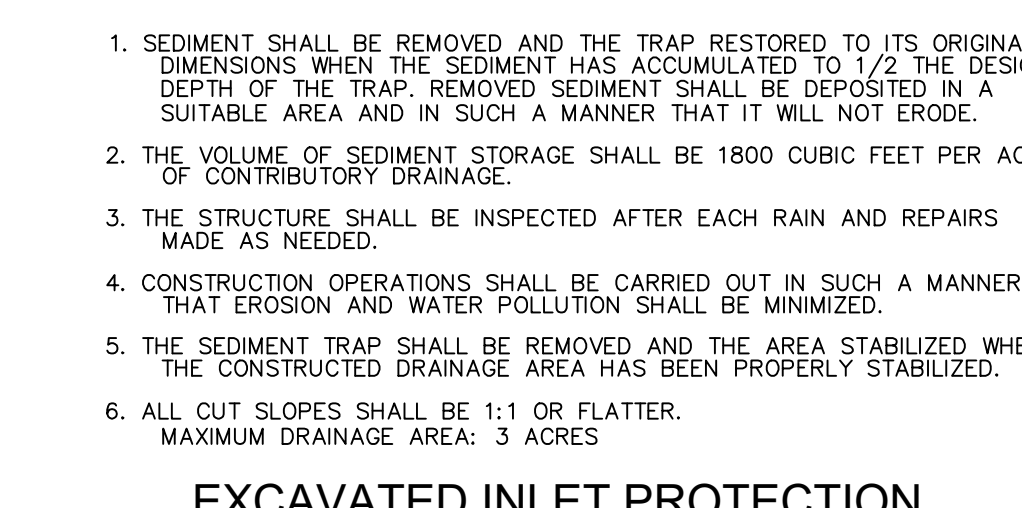
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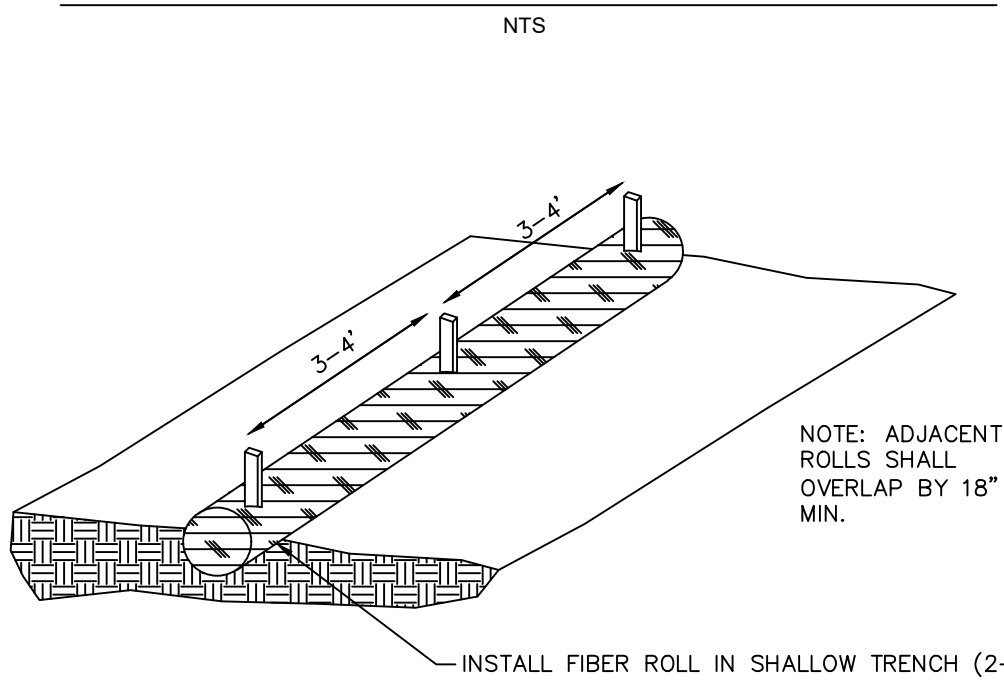
STONE AND BLOCK INLET PROTECTION (IP)



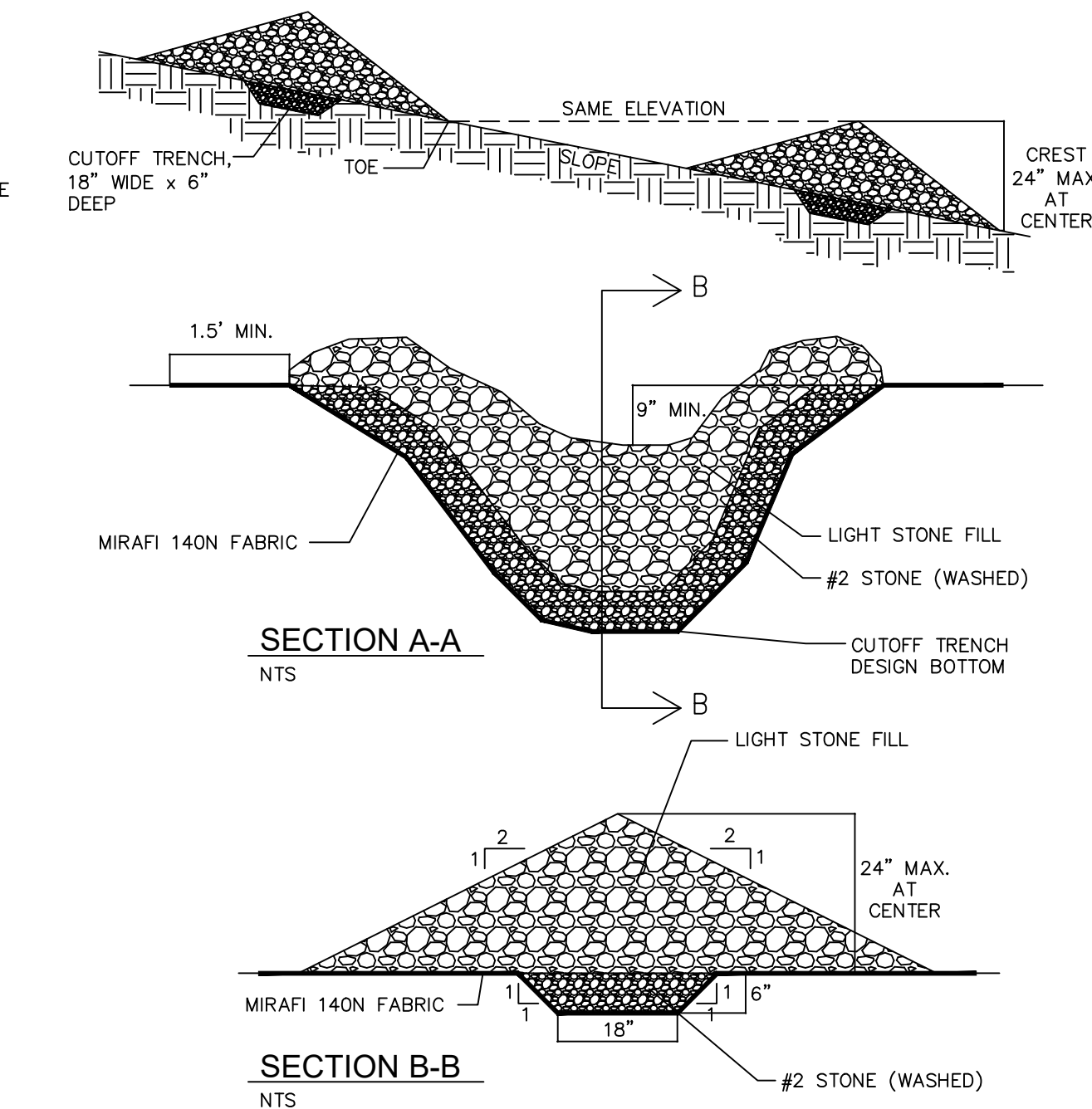
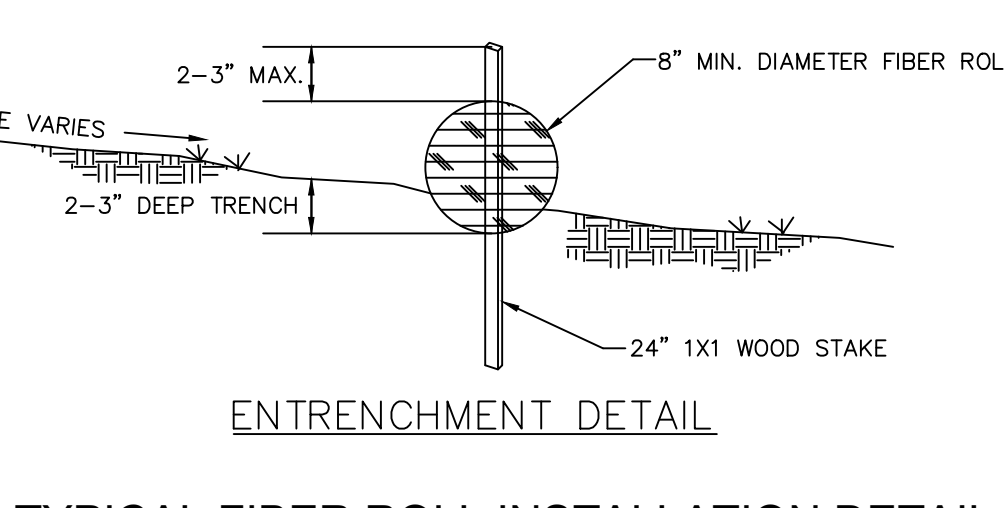
EXCAVATED INLET PROTECTION



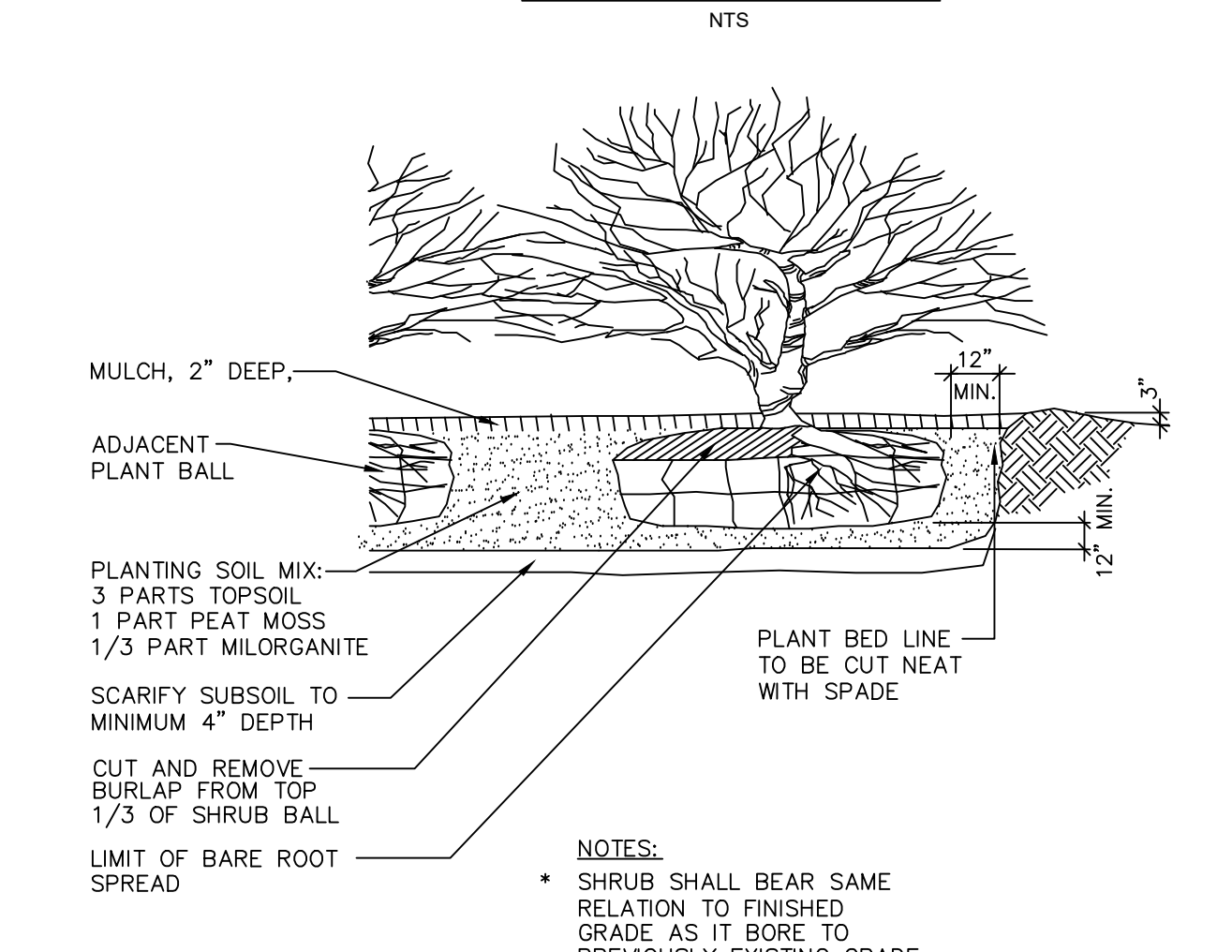
FILTER FABRIC DROP INLET PROTECTION



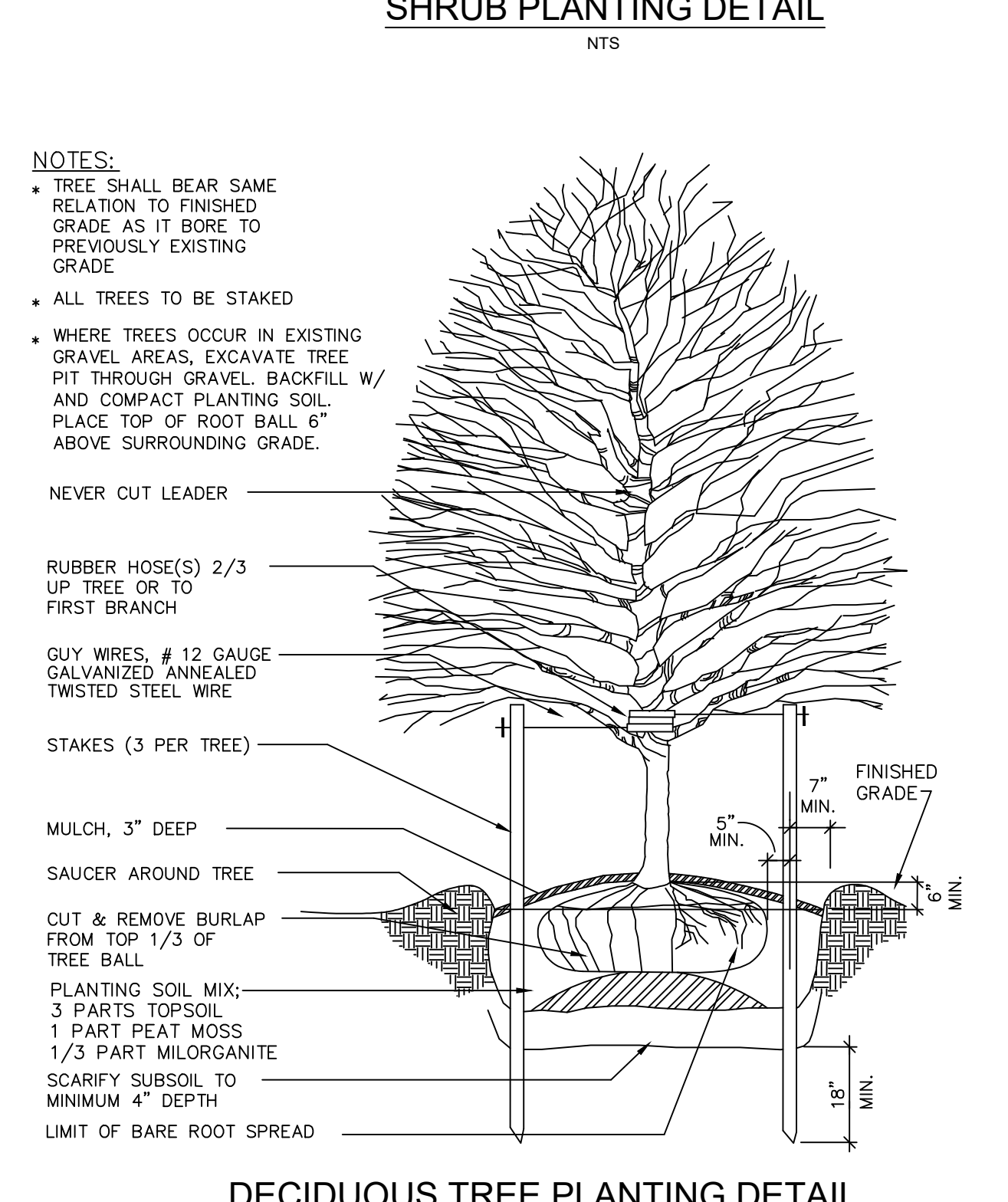
TYPICAL FIBER ROLL INSTALLATION DETAIL



SHRUB PLANTING DETAIL



DECIDUOUS TREE PLANTING DETAIL



NEW 25-BED WOMEN'S RESIDENTIAL TREATMENT FACILITY

Cayuga
 ADDICTION RECOVERY SERVICES

6621 NY ROUTE 227, TRUMANSBURG, NY 14470
 3444 WELTON PLAZA, SUITE 219, ROCHESTER, NY 14623

4/1/2023 SITE PLAN SUBMITTAL
 1/17/2023 BIA SUBMITTAL

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 F:(716) 754-4252

STRUCTURAL ENGINEERS:
RAW ENGINEERING & LAND SURVEYING, P.C.
 2110 South Clinton Avenue, Suite 1
 Rochester, NY 14618
 T:(585) 223-3660
 F:(585) 697-1764

MEP/FP ENGINEERS:
IBC ENGINEERING, P.C.
 3445 Welton Plaza, Suite 219
 Rochester, NY 14623
 T:(585) 292-1990
 F:(585) 292-1992

STATE OF NEW YORK
 LICENSED PROFESSIONAL ENGINEER
 001516

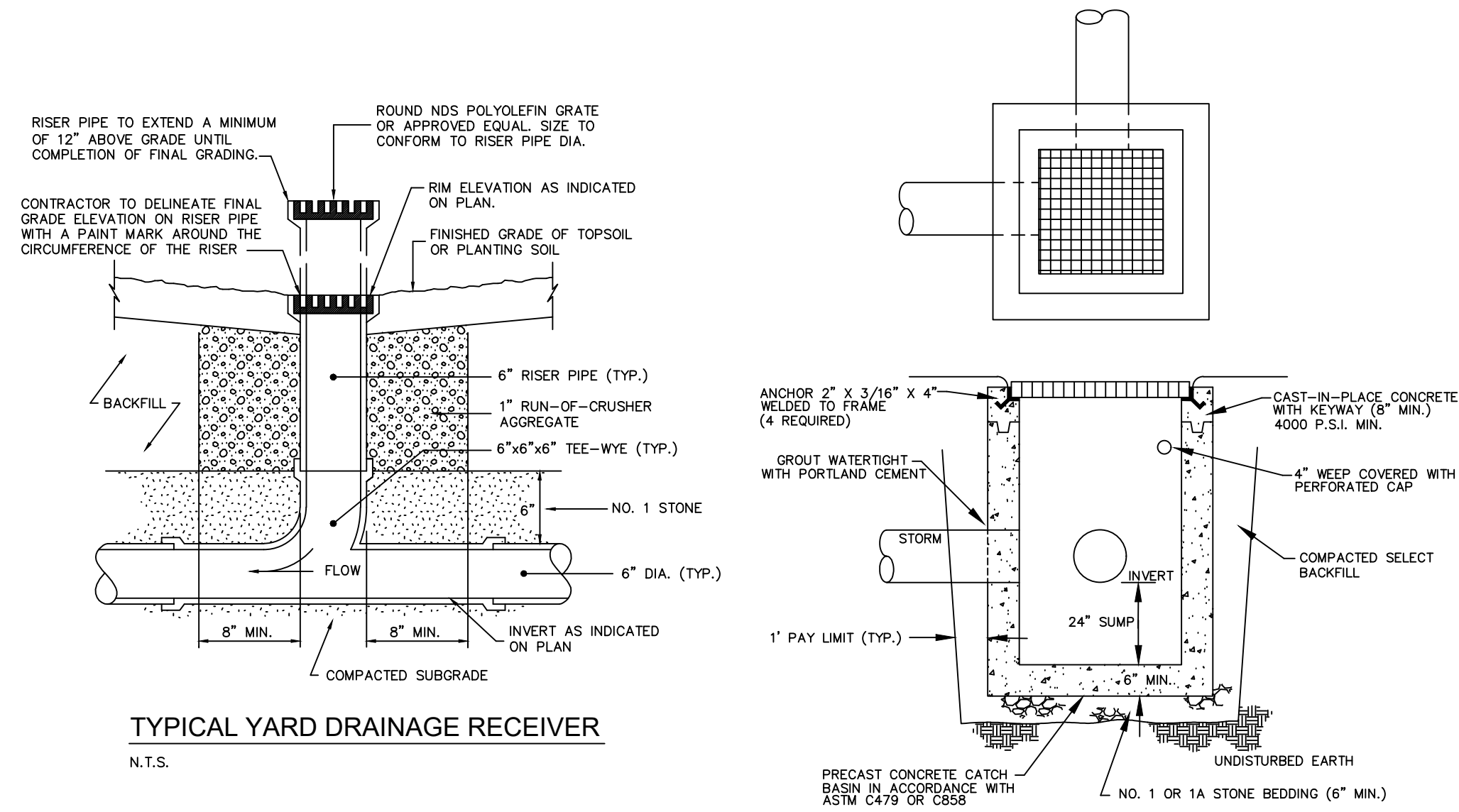
FONTANESE FOLTS AUBRECHT ERNST ARCHITECTS
 A PROFESSIONAL CORPORATION
 (716) 662-2200
 6395 WEST QUAKER STREET
 ORCHARD PARK, N.Y. 14127

PROJECT NO. 18.03
DATE 03/07/2023
SCALE AS NOTED
DRAWN BY ADG
DRAWING TITLE

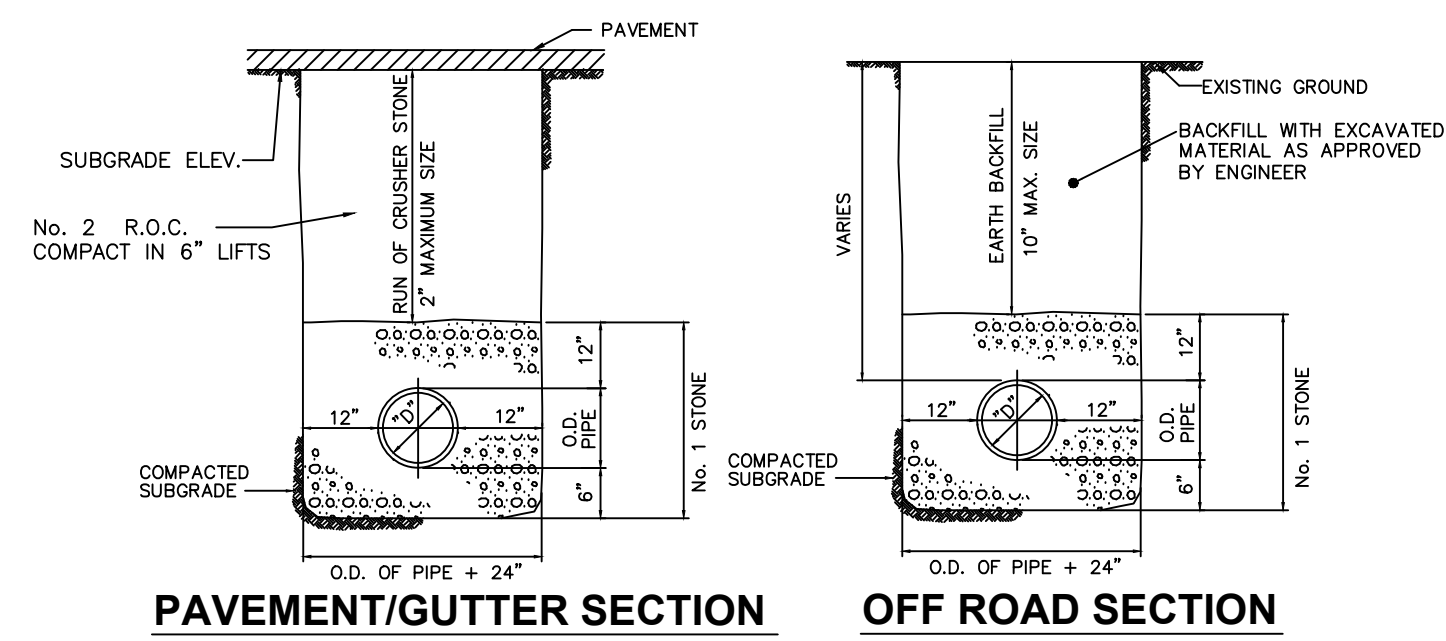
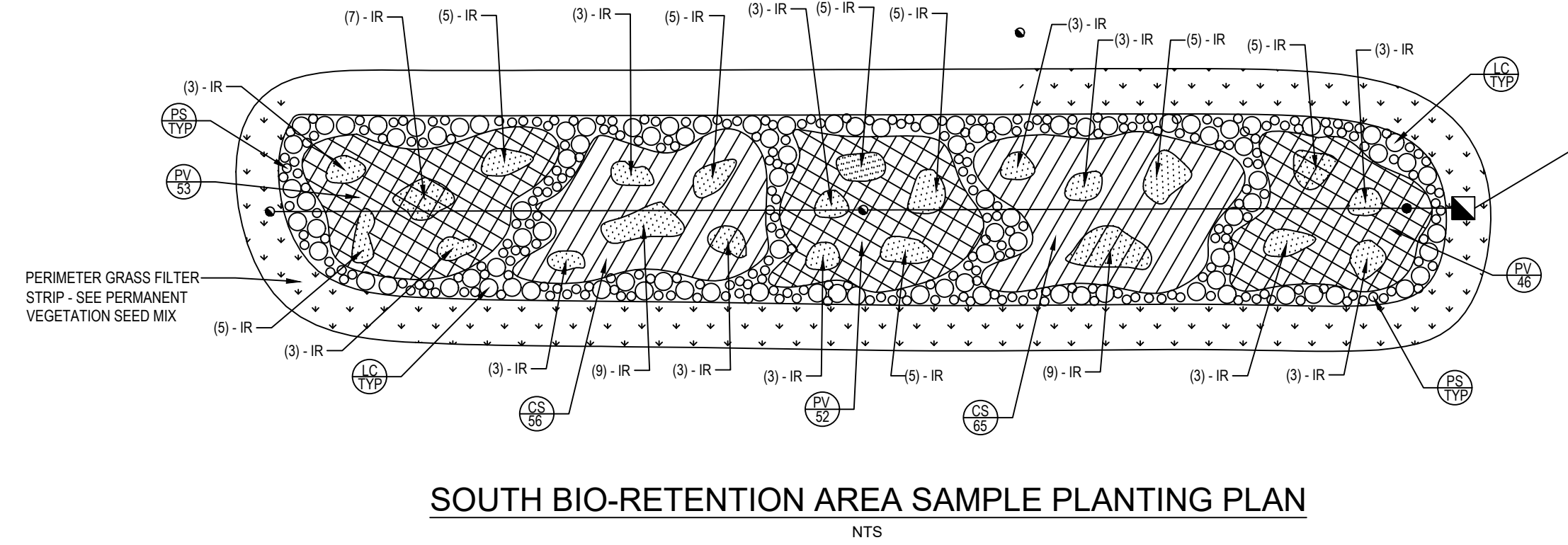
DETAILS LANDSCAPING EROSION CONTROL

DRAWING NO. SP-108

SITE PLAN SUBMISSION - 001



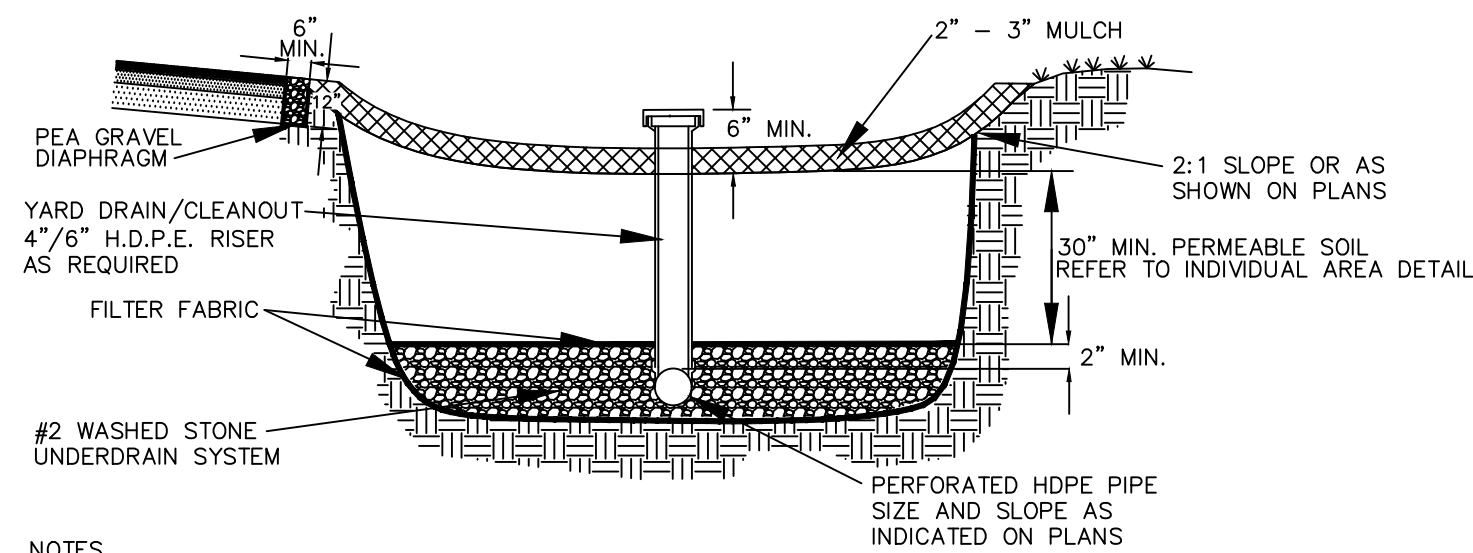
SCHEDULE: BIO-RETENTION AREA					
NO.	ID	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
151	PV	PANICUM VIRGATUM	SWITCHGRASS	2" PLUG	2 FT. O.C.
121	CS	CAREX SPP.	SEDGES	2" PLUG	2 FT. O.C.
283	PS	POLYGONUM SPP.	SMARTWEED	2" PLUG	2 FT. O.C.
100	LC	LOBELIA CARDINALIS	CARDINAL FLOWER	2" PLUG	2 FT. O.C.
101	IR	IRIS VERSICOLOR	NORTHERN BLUE FLAG IRIS	2" PLUG	2 FT. O.C.



- NOTES:
1. SAW CUT ALL EDGES OF EXISTING PAVEMENT AND BASE TO FULL DEPTH IN ONE PASS.
 2. GENERAL EXCAVATION, ALL SPOIL MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 3. PLACE A MIN. OF 6" OF #1 STONE SCOOPED TO RECEIVE PIPE WITH "NO BEARING ON BELL."

STORM SEWER TRENCH DETAILS

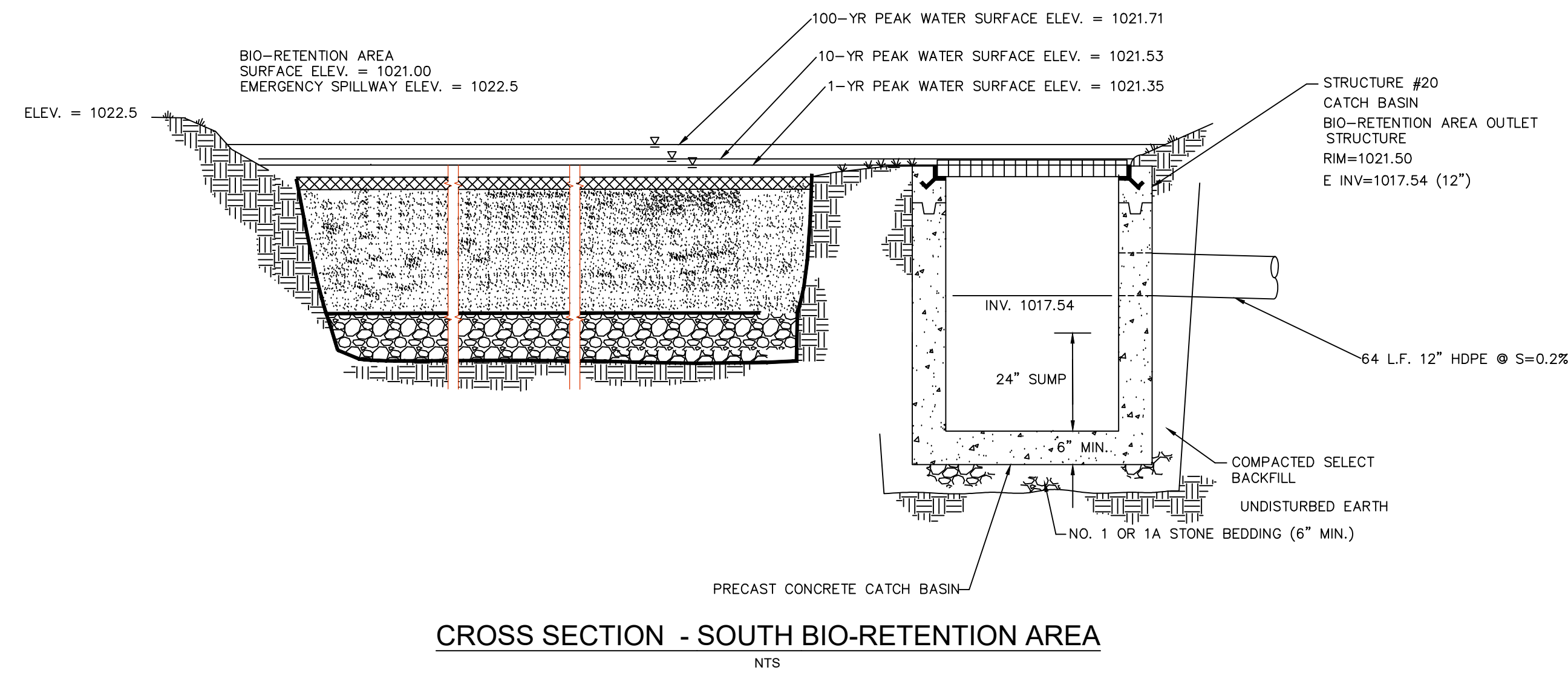
N.T.S.



- NOTES
1. THE "PERMEABLE SOIL" SHALL BE CONSISTENT WITH THE NYS DOT STANDARD SPECIFICATIONS ITEM 208.0103
 22. THE "PERMEABLE SOIL" SHALL BE A WELL BLENDED MIXTURE OF THREE (3) PARTS SAND AND ONE (1) PART TOPSOIL, BY VOLUME. SAND SHALL MEET THE REQUIREMENTS OF SECTION 703-07 "CONCRETE SAND" OF THE NYS DOT STANDARD SPECIFICATIONS. TOPSOIL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 713-01 "TOPSOIL". THE "PERMEABLE SOIL" SHALL HAVE A pH RANGE OF 5.2 TO 7.6 AND AN ORGANIC CONTENT OF 3-7%. SOIL AMENDMENTS TO INCREASE ORGANIC CONTENT SHALL BE PEAT MOSS IN ACCORDANCE WITH SECTION 713-15 "ORGANIC MATERIAL" OF THE NYS DOT STANDARD SPECIFICATIONS. A PERMEABILITY OF AT LEAST 1.0 FEET PER DAY (0.5"/HR.) IS REQUIRED. THE SOIL SHALL BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER AND VISIBLY FREE OF NOXIOUS WEEDS. THE SOIL SHOULD BE PLACED IN 12" LIFTS AND LOOSELY COMPACTED (TAMPED LIGHTLY WITH A DOZER OR BACKHOE BUCKET).
 2. THE MULCH LAYER SHOULD BE STANDARD LANDSCAPE STYLE, SINGLE OR DOUBLE SHREDDED HARDWOOD MULCH OR CHIPS. THE MULCH LAYER SHOULD BE WELL AGED (STOCKPILED OR STORED FOR AT LEAST 12 MONTHS), UNIFORM IN COLOR, AND FREE OF OTHER MATERIALS, SUCH AS WEED SEEDS, SOIL, ROOTS, ETC. THE MULCH SHOULD BE APPLIED TO A MAXIMUM DEPTH OF THREE INCHES. GRASS CLIPPINGS SHOULD NOT BE USED AS A MULCH MATERIAL.

BIORETENTION AREA - TYPICAL SECTION

N.T.S.



SITE PLAN SUBMISSION - 001

NEW 25-BED WOMEN'S RESIDENTIAL TREATMENT FACILITY

Cayuga
ADDITION RECOVERY SERVICES

6621 NY ROUTE 227, TRUMANSBURG, NY
OSAS PROJECT NUMBER: 3444701410

4/1/2023 SITE PLAN SUBMITTAL
1/17/2023 BIA SUBMITTAL

NO.	DATE	REMARKS

REVISIONS

CONSULTANTS:
SITE/CIVIL ENGINEERS:
ADVANCED DESIGN GROUP
 781 Cayuga Street
 Lewiston, NY 14092
 T:(716) 754-2258
 F:(716) 754-4252

STRUCTURAL ENGINEERS:
RAW ENGINEERING & LAND SURVEYING, P.C.
 2110 South Clinton Avenue, Suite 1
 Rochester, NY 14618
 T:(585) 223-3660
 F:(585) 697-1764

MEP/FP ENGINEERS:
IBC ENGINEERING, P.C.
 3445 Winton Plaza, Suite 219
 Rochester, NY 14623
 T:(585) 292-1990
 F:(585) 292-1992

STATE OF NEW YORK
 PROFESSIONAL ENGINEER
 LICENSED PROFESSIONAL ENGINEER
 0017516

FONTANESE FOLTS AUBRECHT ERNST
 ARCHITECTS
 A PROFESSIONAL CORPORATION
 (716) 662-2200
 6395 WEST QUAKER STREET
 ORCHARD PARK, N.Y. 14127

PROJECT NO.	18.03
DATE	03/07/2023
SCALE	AS NOTED
DRAWN BY	ADG
DRAWING TITLE	DETAILS STORM
DRAWING NO.	SP-109



01. EXTERIOR ELEVATION – SOUTH - OPTION A

**NEW 25-BED WOMEN'S
RESIDENTIAL TREATMENT FACILITY**

Cayuga
ADDITIONAL RECOVERY
SERVICES

6621 NY ROUTE 227, TRUMANSBURG, NY
OASAS PROJECT NUMBER: 344470 / 410

NO.	DATE	REMARKS
REVISIONS		
CONSULTANTS:		
SITE/CIVIL ENGINEERS: ADVANCED DESIGN GROUP 781 Cayuga Street Lawton, NY 14092 T:(716) 754-2256 F:(716) 754-4252		
STRUCTURAL ENGINEERS: RAW ENGINEERING & LAND SURVEYING, P.C. 2110 South Clinton Avenue, Suite 1 Rochester, NY 14618 T:(585) 223-3660 F:(585) 697-1764		
MEP/FP ENGINEERS: IBC ENGINEERING, P.C. 3445 Winton Plaza, Suite 219 Rochester, NY 14623 T:(585) 292-1590 F:(585) 292-1592		

**FONTANESE
FOLTS
AUBRECHT
ERNST**
A PROFESSIONAL CORPORATION
ARCHITECTS

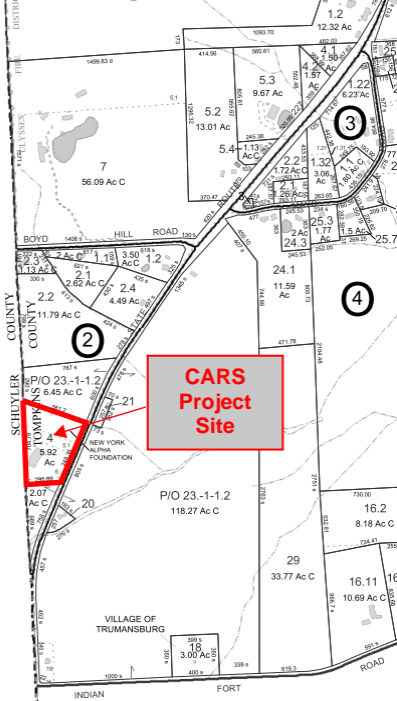
(716) 662-2200
6395 WEST QUAKER STREET
ORCHARD PARK, N.Y. 14127

PROJECT NO.	18.03
DATE	02/08/2023
SCALE	AS NOTED
DRAWN BY	FFAE

DRAWING TITLE
**EXTERIOR
ELEVATION –
SOUTH**

DRAWING NO.
A-1

PLANNING BOARD SUBMISSION



**CARS
Project
Site**

2

4

3

4
5.92
Ac

18
3.00
Ac

TOMPKINS COUNTY CLERK

320 North Tioga Street
Ithaca, NY 14850
607-274-5431
Fax: 607-274-5445

No. of Pages: 2

Delivered By: TRUE WALSH & MILLER

Receipt No. 407507

Return To:
TRUE WALSH & MILLER
PFANN TYLER

DATE: 02/27/2002

Time: 10:11

Document Type: DEED

Parties To Transaction: ITHACA ALPHA HOUSE

Deed Information

Mortgage Information

Consideration: \$0.00

Mortgage Amount:

Transfer Tax: \$0.00

Basic Mtge. Tax:

RETT No: 01875

Special Mtge. Tax:

Mortgage Serial No.:

State of New York
Tompkins County Clerk

This sheet constitutes the Clerk endorsement required by Section 316-A(5) & Section 319 of the Real Property Law of the State of New York. DO NOT DETACH

Aurora R. Valenti

Tompkins County Clerk



* 407507 - 001 *

**WARRANTY DEED
with Lien Covenant**

RECEIVED

02 FEB 27 AM 9:15

CLERK

THIS INDENTURE made this 26th day of February, in the year Two Thousand Two

BETWEEN Hoffarcor, Inc., a New York corporation, with offices at 6539 Route 227,
Trumansburg, New York 14886,

party of the first part, and

Ithaca Alpha House Center, Inc., a New York Not-for-Profit corporation,
with offices at 334 East State Street, Ithaca, New York 14850,

party of the second part,

WITNESSETH, That the party of the first part, in consideration of ONE AND NO/100 Dollars (\$1.00) lawful money of the United States, and other good and valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the survivor(s), his or her distributees and assigns forever,

The premises are more fully described on the attached Schedule A.

TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, its heirs, distributees and assigns forever.

AND the party of the first part covenants as follows:

FIRST, That the party of the second part shall quietly enjoy the said premises;

SECOND, That said party of the first part will forever **WARRANT** the title to said premises.

THIRD, That, in Compliance with Sec. 13 of the Lien Law, the grantor(s) will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

IN WITNESS WHEREOF, the party of the first part have hereunto set its hand and seal the day and year first above written.

IN PRESENCE OF

HOFFARCOR, INC.

By: Gregg O. Hoffmire President
Gregg O. Hoffmire, its President

STATE OF NEW YORK)
COUNTY OF TOMPKINS) ss:

On the 26th day of February in the year 2002 before me, the undersigned, a Notary Public in and for said State, personally appeared Gregg O. Hoffmire, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

David A. Tyler
NOTARY PUBLIC

DAVID A. TYLER
Notary Public, State of New York
No. 4633353
Qualified in Tompkins County
Commission Expires Sept 30, 2002

Recording \$16.00
Return to: Elena Flash, Esq., True Walsh & Miller
202 E. State Street, Ithaca, New York 14850

SCHEDULE A

ALL THAT TRACT OR PARCEL OF LAND, being in part in the Town of Ulysses, County of Tompkins and State of New York and in part in the Town of Hector, County of Schuyler and State of New York, being more particularly bounded and described as follows:

BEGINNING at a point in Tompkins County in the center line of New York State Route 227, which point is located northeasterly along said center line a distance of 1,829 feet from the intersection of the center line of New York State Route 227 with the center line of Indian Fort Road;

Running thence along the northerly line of remaining premises of the Grantor north 84 degrees 43' 15" west, passing through a point marked by a 3/4" capped pin set in the westerly right of way line of New York State Route 227, and passing through the County Line between the Counties of Tompkins on the east and Schuyler on the west at 350 feet, more or less, from said point of beginning, and continuing for a total distance on this course of 1,595.09 feet to the center of a 40" oak tree;

Continuing thence along the northerly line of remaining premises of the Grantor north 85 degrees 00' 55" west a distance of 1,441.05 feet to a 3/4" capped pin set in the easterly line of premises now or formerly of the Cretser Trust (306/232);

Running thence along the easterly line of the Cretser Trust premises north 04 degrees 44' 20" east a distance of 400.00 feet to a 3/4" capped pin set at the southwest corner of premises now or formerly of Mackenzie (318/436);

Running thence along the southerly line of the Mackenzie premises south 85 degrees 31' 55" east a distance of 1,451.56 feet to an iron pin at a southeast corner of said Mackenzie premises;

Running thence south 83 degrees 09' 45" east 1,252.69 feet along the southerly line of premises now or formerly of Reynolds (101/24) to an iron pin in the County Line between the Counties of Schuyler on the west and Tompkins on the east;

Running thence south 60 degrees 08' 25" east along the southerly line of other premises of the Grantee, passing through a point in the westerly right of way line of New York State Route 227 at 438.52 feet, and continuing for a total distance on this course of 471.52 feet to a point in the center line of New York State Route 227;

Running thence along said center line south 32 degrees 06' 45" west a distance of 205.00 feet to the point or place of beginning.

EXCEPTING AND RESERVING that portion of the premises in Tompkins County lying within the bounds of New York State Route 227.

Map The above-described premises are shown on a survey map incorporated herein by reference entitled "Map of Survey Cornerstone Residential Facility, Hoffmire Campus, Town of Ulysses, Tompkins County, New York, and Town of Hector, Schuyler County, New York", prepared by Robert S. Russler, Jr., L.S., dated June 9, 2001, a copy of which is intended to be filed in the respective County Clerk's Offices concurrently herewith.

SUBJECT TO a right of way given by Vivian G. Bower to Elmira Light, Heat & Power Corporation dated November 5, 1936 and recorded January 15, 1937 in the Schuyler County Clerk's Office in Liber 80 of Deeds at page 554, insofar as it may affect the above-described premises.

BEING A PORTION OF THE PREMISES conveyed by Gregg O.V. Hoffmire to Hoffarcor, Inc., by quit claim deed dated November 7, 1995 and recorded November 22, 1995 in the Schuyler County Clerk's Office in Liber 306 of Deeds at page 32, and BEING A PORTION OF THE PREMISES contained in Parcel I therein conveyed by Gregg O.V. Hoffmire to Hoffarcor, Inc. by quit claim deed dated November 7, 1995 and recorded November 8, 1995 in the Tompkins County Clerk's Office in Liber 761 of Deeds at page 123.

Being portions of Town of Hector tax parcel 10-1-25 (Schuyler County) and Town of Ulysses tax parcel 23-1-1.2 (Tompkins County).

333 112

598

WARRANTY DEED with Lien Covenant

Schuyler County SS Recorded on this 27 day of Feb 2002 at 9:15 o'clock A M in Liber 333 of Deeds at page 12 and examined [Signature] Clerk

THIS INDENTURE made this 26th day of February, in the year Two Thousand Two

BETWEEN Hoffarcor, Inc., a New York corporation, with offices at 6539 Route 227, Trumansburg, New York 14886,

party of the first part, and

Ithaca Alpha House Center, Inc., a New York Not-for-Profit corporation, with offices at 334 East State Street, Ithaca, New York 14850,

party of the second part,

WITNESSETH, That the party of the first part, in consideration of ONE AND NO/100 Dollars (\$1.00) lawful money of the United States, and other good and valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the survivor(s), his or her distributees and assigns forever,

The premises are more fully described on the attached Schedule A.

TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

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AND the party of the first part covenants as follows:

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THIRD, That, in Compliance with Sec. 13 of the Lien Law, the grantor(s) will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

IN WITNESS WHEREOF, the party of the first part have hereunto set its hand and seal the day and year first above written.

IN PRESENCE OF

HOFFARCOR, INC.

By: [Signature] Gregg O. Hoffmire, its President

STATE OF NEW YORK) COUNTY OF TOMPKINS) ss:

915 TRANSFER TAX REAL ESTATE FEB 27 2002 SCHUYLER COUNTY

On the 26th day of February in the year 2002 before me, the undersigned, a Notary Public in and for said State, personally appeared Gregg O. Hoffmire, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

[Signature] DAVID A. TYLER NOTARY PUBLIC

Recording \$16.00 Return to: Elena Flash, Esq., True Walsh & Miller 202 E. State Street, Ithaca, New York 14850

DAVID A. TYLER Notary Public, State of New York No. 463353 Qualified in Tompkins County Commission Expires Sept 30, 2002

ALL THAT TRACT OR PARCEL OF LAND, being in part in the Town of Ulysses, County of Tompkins and State of New York and in part in the Town of Hector, County of Schuyler and State of New York, being more particularly bounded and described as follows:

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SUBJECT TO a right of way given by Vivian G. Bower to Elmira Light, Heat & Power Corporation dated November 5, 1936 and recorded January 15, 1937 in the Schuyler County Clerk's Office in Liber 80 of Deeds at page 554, insofar as it may affect the above-described premises.

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Being portions of Town of Hector tax parcel 10-1-25 (Schuyler County) and Town of Ulysses tax parcel 23-1-1.2 (Tompkins County).

Town of Ulysses
10 Elm Street
Trumansburg, NY 14886

AGRICULTURAL DATA STATEMENT

Section 283-a of the New York State Town Law requires that application for a special use permit, site plan approval, use variance, or subdivision approval on property containing a farm operation within an agricultural district or on a property with boundaries within 500 feet of a farm operation located in an agricultural district, include an Agricultural Data Statement. *The Town of Ulysses will use the information in this statement to assist in evaluating the impacts of proposed development projects on farm operations in Agricultural District #2 of Tompkins County.*

A farm operation is defined as "...the land and on-farm buildings, equipment, manure processing and handling facilities, and practices which contribute to the production, preparation and marketing of crops, livestock and livestock products as a commercial enterprise...." (Section 301, Article 25-AA of the Agriculture and Markets Law).

1. Name of Applicant: Cayuga Addiction Recovery Services

Mailing address: 38 East Main Street, / P.O. Box 724
Trumansburg, NY 14886

2. Project Name/Location: Cayuga Addiction Recovery Services, 6621 N.Y.S. Route
227, Trumansburg, New York 14886

3. Description of proposed project: A 13,385 s.f. 25-bed facility will be constructed as a free-standing 2-story wood framed building on the existing CARS campus. This project will include a driveway, branching from the existing that leads to a dedicated 26 space parking lot. The site work will address requirements for stormwater and landscaping to replace removed vegetation.

4. Tax Parcel Number(s): 22.-2-4

5. Number of total acres involved with project: 5.92

6. Number of total acres presently in Tax Parcel: 5.92

7. How much of the site is currently farmed? 0 Acres

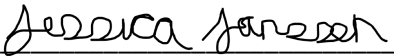
8. Please identify who is farming the site: N/A

9. Names and mailing addresses of all owners of land located within five hundred (500) feet of the project property within an agricultural district and containing farm operations:

	Landowner Name	Address	Tax parcel number	Type of farm
1	Reynolds Farm, LLC	NYS Route 227	10.00-3-17	crop
2	Hoffarcor, Inc.	5737 Rumsey Road	10.00-3-23	crop
3	6536 & 6512 Route 227	6536 & 6512 Route 227	23.-1-1.2	crop
4				
5				

(Use separate sheet if needed)

10. Attach a copy of the current tax map showing the site of the project relative to the location of farm operations identified in #9 above.

Signature of Applicant:  Date: 3/21/23
Jessica Janssen, CEO

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
<p>i. Coastal Resources.</p> <p><i>i.</i> Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><i>ii.</i> Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><i>iii.</i> Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres

b. Total acreage to be physically disturbed? _____ acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

• Total number of phases anticipated _____

• Anticipated commencement date of phase 1 (including demolition) _____ month _____ year

• Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source.

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 25,322 Square feet or _____ acres (impervious surface)
 1,498,769 Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

 • Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p><i>i.</i> During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p><i>ii.</i> During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
---	--

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____%

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:

i. Name of aquifer: _____ Taughnnock Creek Valley Aquifer _____

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: <u>Taughannock Falls State Park and Cayuga Lake Scenic Byway</u>	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>State Park and Scenic Byway</u>	
<i>iii.</i> Distance between project and resource: _____ 4 miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information


Attach any additional information which may be needed to clarify your project.

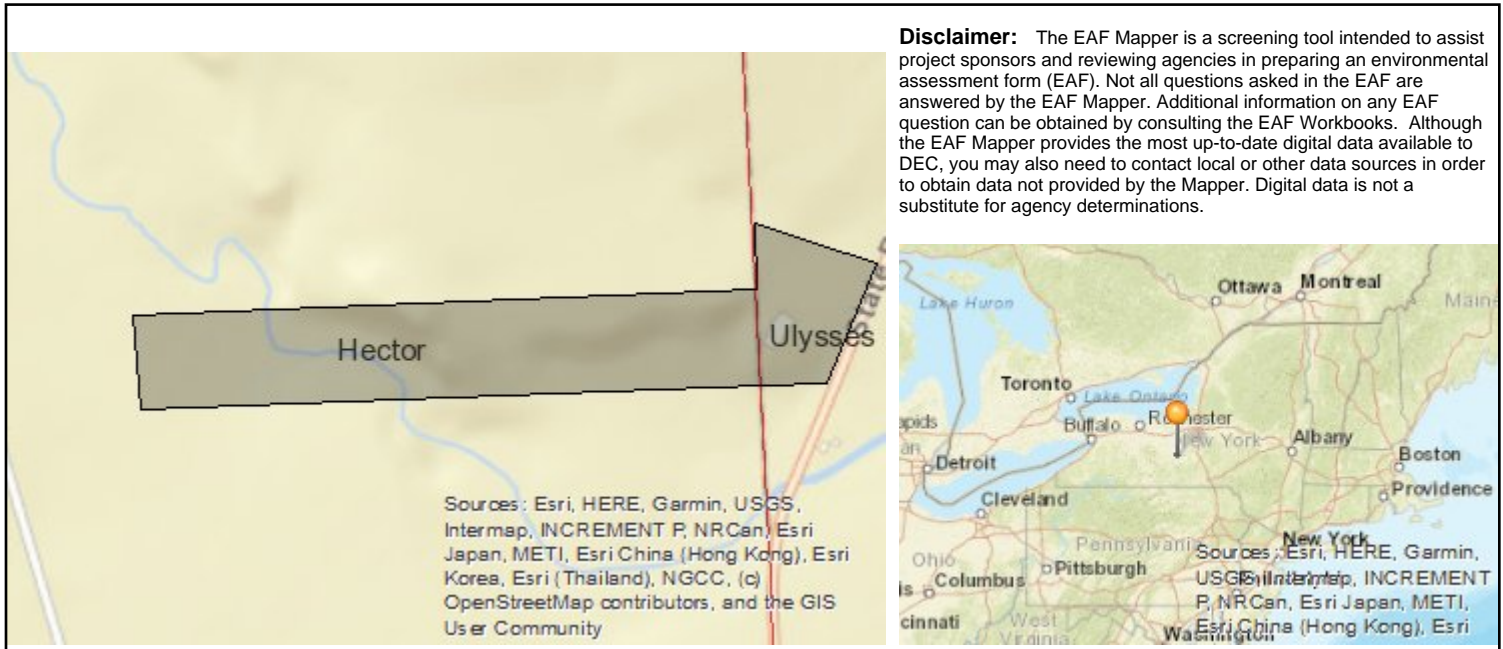
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Ivan N. Garcia Date 02/06/2023

Signature  Title Principal



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	898-372
E.2.h.iv [Surface Water Features - Stream Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.j. [100 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.

E.2.k. [500 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	Yes
E.3.a. [Agricultural District]	SCHU001, TOMP002
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



Parks, Recreation, and Historic Preservation

ANDREW M. CUOMO
Governor

ERIK KULLESEID
Commissioner

May 23, 2019

Mr. Matthew Stanley
Senior Environmental Manager
Dormitory Authority - State of New York
Office of Environmental Affairs
One Penn Plaza - 52nd Floor
New York, NY 10119

Re: DASNY
Ithaca Alpha House/Cayuga Addiction Recovery Services (CARS) facility (Part 820)
6621 NY-227, Trumansburg, NY
19PR03184
C-002128

Dear Mr. Stanley:

Thank you for requesting the comments of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the project in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the OPRHP and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6 NYCRR Part 617).

Based upon this review, it is the New York State Office of Parks, Recreation and Historic Preservation's opinion that your project will have no impact on archaeological and/or historic resources listed in or eligible for the New York State and National Registers of Historic Places.

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above.

Sincerely,

Michael F. Lynch, P.E., AIA
Director, Division for Historic Preservation